

GENERAL APPLICATION FORM



TOWN OF MEDWAY  
 ZONING BOARD OF APPEALS  
 155 Village Street  
 Medway MA 02053

Phone: 508-321-4915 | zoning@medwayma.gov  
Zoning Board of Appeals | Town of Medway

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED.

TO BE COMPLETED BY THE APPLICANT

Applicant/Petitioner(s): Ehas Cordova	Application Request(s):
Property Owner(s): Ehas Cordova Ilirjana Cordova	Appeal <input type="checkbox"/>
Site Address(es): 2 Bullard Cir Medway MA 02053	Special Permit <input type="checkbox"/>
Parcel ID(s): 06-008	Variance <input checked="" type="checkbox"/>
Zoning District(s): AR-1	Determination/Finding <input type="checkbox"/>
Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title:	Extension <input type="checkbox"/>
	Modification <input type="checkbox"/>
	Comprehensive Permit <input type="checkbox"/>

TO BE COMPLETED BY STAFF:

Check No.: 347

Date of Complete Submittal: 5/12/26

Comments:

APPLICANT/PETITIONER INFORMATION

The owner(s) of the land must be included as an applicant, even if not the proponent. Persons or entities other than the owner may also serve as co-applicants in addition to the owner(s), however, in each instance, such person shall provide sufficient written evidence of authority to act on behalf of the

RECEIVED TOWN CLERK  
 MAY 12 '26 PM 1:15

**GENERAL APPLICATION FORM**

owner(s). For legal entities such as corporations, LLCs, etc., list the type and legal status of ownership, the name of the trustees/officer members, their affiliation, and contact information. Please provide attachment for information if necessary.

<b>Applicant/Petitioner(s):</b> Elias Cordova		<b>Phone:</b> [REDACTED]
		<b>Email:</b> [REDACTED]
<b>Address:</b> 2 Bullard Cir, Medway MA 02053		
<b>Attorney/Engineer/Representative(s):</b>		<b>Phone:</b>
		<b>Email:</b>
<b>Address:</b>		
<b>Owner(s):</b> Elias Cordova Idirjana Cordova		<b>Phone:</b> [REDACTED]
		<b>Email:</b> [REDACTED]
<b>Mailing Address:</b> 2 Bullard Cir, Medway MA 02053		

Please list name and address of other parties with financial interest in this property (use attachment if necessary):

Please disclose any relationship, past or present, interested parties may have with members of the ZBA:

I hereby certify that the information on this application and plans submitted herewith are correct, and that the application complies with all applicable provisions of Statutes, Regulations, and Bylaws to the best of my knowledge, and that all testimony to be given by me during the Zoning Board of Appeals public hearing associated with this application are true to the best of my knowledge and belief.

Signature of Applicant/Petitioner or Representative <u>Elias Cordova</u>	Date <u>5/11/2024</u>
Signature Property Owner (if different than Applicant/Petitioner)	Date

**APPLICATION INFORMATION**

YES NO

GENERAL APPLICATION FORM

<p>Applicable Section(s) of the Zoning Bylaw:</p>	<p>Requesting Waivers? <span style="float: right;">Y N</span></p> <p>Does the proposed use conform to the current Zoning Bylaw? <span style="float: right;">Y N</span></p>
<p>Present Use of Property: <i>Residential use</i></p> <p>Proposed Use of Property: <i>Residential use</i></p>	<p>Has the applicant applied for and/or been refused a building permit? <span style="float: right;">Y N</span></p> <p>Is the property or are the buildings/ structures pre-existing nonconforming? <span style="float: right;">Y N</span></p> <p>Is the proposal subject to approval by the BOH or BOS? <span style="float: right;">Y N</span></p> <p>Is the proposal subject to approval by the Conservation Commission? <span style="float: right;">Y N</span></p>
<p>Date Lot was created:</p> <p>Date Building was erected:</p>	<p>Is the property located in the Floodplain District? <span style="float: right;">Y N</span></p> <p>Is the property located in the Groundwater Protection District? <span style="float: right;">Y N</span></p>
<p>Does the property meet the intent of the Design Review Guidelines?</p>	<p>Is the property located in a designated Historic District or is it designated as a Historic Landmark? <span style="float: right;">Y N</span></p>
<p>Describe Application Request:</p> <p><i>Setbacks request approval current 14.4</i></p> <p><i>Request variance for setback from 35' to 0.18'</i></p> <p><i>Request variance for rear yard from 15' to 14.4'</i></p>	

FILL IN THE APPLICABLE DATA BELOW

**GENERAL APPLICATION FORM**

Required Data	Bylaw Requirement	Existing	Proposed
A. Use			
B. Dwelling Units			
C. Lot Size		4,000 s.f	Same
D. Lot Frontage		180'	Same
E. Front Setback		35'	218'
F. Side Setback		15'	Same
G. Side Setback			
H. Rear Setback		15'	144'
I. Lot Coverage	25%	25%	877%
J. Height			
K. Parking Spaces			
L. Other			

<b>FOR TOWN HALL USE ONLY</b>	
<i>To be filled out by the Building Commissioner:</i>	
_____	_____
Date Reviewed	Medway Building Commissioner
<i>Comments:</i>	

After completing this form, please submit an electronic copy to [zoning@medwayma.gov](mailto:zoning@medwayma.gov) and 4 paper copies to the Community & Economic Development Department.



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

155 Village Street  
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org  
www.townofmedway.org/zoning-board-appeal

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Variance Criteria, outlined below, is met. All Variance Criteria must be met to be considered. Provide attachments if necessary.

<p>1. What circumstances exist relating to the shape, topography, or soil conditions of the subject property which do not generally affect other land in the zoning district? (See MGL c. 40A Section 10)</p> <p>The proposed area is in a flat surface, close to the main property no other trees or natural landscaping in that section.</p>
<p>2. What substantial hardship, financial or otherwise, is caused by the circumstances listed above when the literal enforcement of Medway Zoning Bylaw is applied? (See MGL c. 40A Section 10) (Cannot be <i>personal hardship</i>)</p> <ul style="list-style-type: none"> <li>- financial hardship, I submitted a permit using site was approved without the plot plan. Shows close to the lot. However is about 25' from the road.</li> <li>- foundation was poured, closer to elderly family member to access the property.</li> </ul>
<p>3. State why desirable relief may be granted without substantial detriment to the public good.</p> <ul style="list-style-type: none"> <li>- Public driveway not immediate view nor interfering with the public driveway. or obstructing the view or public.</li> <li>- Still about 20' from the road.</li> </ul>
<p>4. State why relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw.</p> <ul style="list-style-type: none"> <li>- See attached aerial view and also on the plot plan we are far from the main road</li> <li>- would be beneficial for the family members</li> </ul>

Elvis Cordova

5/11/2026

Signature of Applicant/Petitioner or Representative

Date



TOWN OF MEDWAY  
COMMONWEALTH OF MASSACHUSETTS  
ZONING BOARD OF APPEALS

Medway Town Hall  
155 Village Street  
Medway, MA 02053  
Phone (508) 321-4890  
Email: [zoning@medwayma.gov](mailto:zoning@medwayma.gov)  
Zoning Board of Appeals | Town of  
Medway

Legal Notice Billing Agreement Form

*Board Members*

Brian White, Chair  
Gibb Phenegar, Vice Chair  
Christina Oster, Clerk  
Joe Barresi, Member  
Tom Emero, Member  
Adam Kaufman, Associate  
Member

The Zoning Board of Appeals will prepare and submit a legal notice to be published in the *Milford Daily News*. This legal notice will appear in two consecutive issues of the newspaper, at least 14 days prior to the date of your hearing. The cost varies based upon the applicant request and information required for the notice. The Zoning Board of Appeals will forward the ad proof with the total to be paid by the applicant.

Elias Cordova  
Applicant Name

2 Bullard Cir  
Property Address

[REDACTED]  
Telephone Number

06-008  
Parcel ID

[REDACTED]  
Email Address

AR-1  
Zoning District

I hereby agree to provide a check in the sum of the ad proof total provided by the Zoning Board of Appeals for the required legal notice for a public hearing before the Zoning Board of Appeals.

Elias Cordova  
Applicant Signature

5/1/2020  
Date

Please Note: This form must be returned to the Zoning Board of Appeals when submitting your application



TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
ZONING BOARD OF APPEALS

Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 321-4890
Email: zoning@medwayma.gov
Zoning Board of Appeals | Town of Medway

Representative Authorization Form

Board Members

- Brian White, Chair
Gibb Phenegar, Vice Chair
Christina Oster, Clerk
Joe Barresi, Member
Tom Emero, Member
Adam Kaufman, Associate Member

I, Elias Cordova certify that I am the owner(s) of the property, and I am aware of and authorize the submission of this application being submitted by my representative. All information submitted is accurate to my knowledge.

Elias Cordova Property Owner Name
2 Bullard Cir Property Address

[Redacted] Telephone Number
06-008 Parcel ID

[Redacted] Email Address
AR-1 Zoning District

Elias Cordova Property Owner Signature
5/11/2026 Date

[Signature] Property Owner Signature
5/11/2026 Date

Please Note: This form must be returned to the Zoning Board of Appeals when submitting the application if being completed by a representative or it will be incomplete until this form is completed.

TREASURER/COLLECTOR CERTIFICATION



TOWN OF MEDWAY  
ZONING BOARD OF APPEALS  
155 Village Street  
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org  
www.townofmedway.org/zoning-board-appeal

TO BE COMPLETED BY THE APPLICANT

Applicant/Petitioner(s):  Elias Cordova
Property Owner(s): 2 Bullard Cir
Site Address(es):
Parcel ID(s):  06-008
Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title:

Elias Cordova 5/1/2026  
 Signature of Applicant/Petitioner or Representative Date

FOR TOWN HALL USE ONLY To be filled out by the Treasurer/Collector:	
May 13, 2026 Date Reviewed	Maria Shott Medway Treasurer/Collector
Tax Delinquent: Y <input checked="" type="radio"/> N	
Comments:	

I CERTIFY THAT THE EXISTING FOUNDATIONS SHOWN ON THIS PLAN DO NOT LIE WITHIN THE FLOOD PLAIN



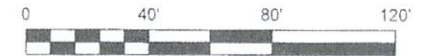
*Anthony M. Dellorco*

N/F RSEC REALTY TRUST  
141 SUMMER STREET  
MAP 12 PARCEL 007

ZONE AR I  
AREA 4,000 S.F.  
FRONTAGE 180'  
SETBACK 35'  
SIDEYARD 15'  
REARYARD 15'  
HEIGHT 35'  
LOT COVERAGE  
STRUCTURE 25%  
STRUCT. & IMPERV. 35%  
**PROPOSED LOT COVERAGE  
STRUCTURES 6.78%  
STRUCT. & IMPERV. 8.77%**  
NOT WITHIN ZONE I OR II

EXISTING FOUNDATIONS  
PLAN OF LAND  
IN  
MEDWAY, MA.

SCALE: 1"=40' APRIL 21, 2026  
OWNER: Elias Cordova  
and Ilirjana Cordova  
2 Bullard Circle  
Medway, Ma. 02053  
COLONIAL ENGINEERING INC.  
11 Awl Street  
Medway, Ma. 02053  
508-533-1644



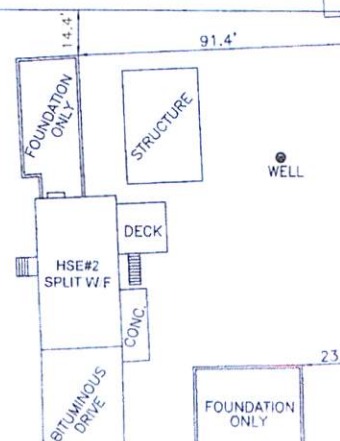
SUMMER STREET

S 01°30'50" E  
138.24'

LOT 4  
65,082 S.F.  
MAP 6 PARCEL 008

S 88°16'22" W  
418.38'

SHED



WELL

91.4'

1.4'

144.55'

N 04°26'22" W

23.5'

0.18'

N/F JOSEPH AVELLINO  
3 BULLARD CIRCLE  
MAP 6 PARCEL 007

A40 55'  
R25 00'

400.00'  
N 85°33'44" E

BULLARD (40' PRIVATE WAY) CIRCLE

N/F ILIRJANA CORDOVA  
151 SUMMER STREET  
MAP 6 PARCEL 10

N/F RICHARD LOPRESTI  
4 BULLARD CIRCLE  
MAP 6 PARCEL 009

**REQUEST VARIANCE FOR SETBACK FROM 35' TO 0.18'**  
**REQUEST VARIANCE FOR REARYARD FROM 15' TO 14.4'**

2 Bullard Cir, Medway, MA 02053  
Project Location



44 Dinwiddie Ave  
Framingham, MA  
01702 (781) 899-2972  
www.milhawk.com

Project Information  
Bullard Cir  
2 Bullard Cir  
Medway

Type of Project  
Site Addition

Drawn By: Lisa Amato

Revised By: Pavel K

Drawing Date: 5/2/2015

Drawing Version

Drawing Scale

Project Number: 0027

Bulletins

Stamp

REVIEWED BY



Title  
TITLE

Sheet

00-TITLE

Sheet List	
Sheet Number	Sheet Name
00-TITLE	TITLE
0-GENERAL NOTES	GENERAL NOTES
A-102	AXON VIEW 1
A-104	AXON VIEW 2
A-105	AXON VIEW 3
A-106	PROPOSED 1ST FLOOR
A-107	PROPOSED 2ND FLOOR
A-108	PROPOSED ROOF
A-109	SECTION 1
A-110	SECTION 2
S-001	PROPOSED 1ST FLOOR
S-002	PROPOSED 2ND FLOOR
S-003	PROPOSED CEILING PLAN
S-004	PROPOSED BRIDGE ROOF
S-005	PROPOSED MAIN ROOF
A-116	WINDOW AND HEADERS
A-100	EXISTING CONDITIONS
D-001	DEMOLITION
A-101	PROPOSED ELEVATIONS
A-111	SECTION 3
A-112	WALL ASSEMBLY
A-113	DETAILS
A-114	DETAILS
A-115	DETAILS

**ARCHITECT'S NOTES:**

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.
2. OTHER BUILDING SYSTEMS SUCH AS: MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER.
3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
4. FIRE BLOCKING REQUIRED: FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
  - a1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS
    - a2. VERTICALLY AT THE CEILING AND FLOOR LEVELS
  - b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS
  - c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN
  - d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION

**IMPORTANT NOTICE**

THE CONTRACTOR Hired BY THE CLIENT DOES NOT HAVE THE AUTHORITY TO MODIFY STRUCTURAL DETAILS, INTERNAL LAYOUT, OR ANY OTHER ASPECTS COVERED BY THE PROJECT.

IF THE CONTRACTOR IDENTIFIES ANY NECESSARY CHANGES, THEY MUST CONTACT MILHAWLK DSO & ARCH TO REQUEST A MODIFICATION, WHICH WILL ONLY BE CONSIDERED THROUGH AN RFI (REQUEST FOR INFORMATION) JUSTIFYING THE NEED FOR THE CHANGE. THE MODIFICATION WILL BE GRANTED AND UPDATED IN THE PROJECT THROUGH A BULLETIN.

IF THE CONTRACTOR ALTERS ANY STRUCTURAL COMPONENT WITHOUT PRIOR NOTICE, A FINE WILL BE IMPOSED ON THE CSL HOLDER OR THE PERSON IN CHARGE OF THE WORK, WITH THE POSSIBILITY OF REMOVING THE RESPONSIBLE ENGINEER'S STAMP.

IF THE CONTRACTOR ALTERS THE LAYOUT OR ANY PROJECT DETAILS WITHOUT PRIOR APPROVAL, A FINE MAY BE IMPOSED ON THE CSL HOLDER OR THE PERSON IN CHARGE, WITH THE POSSIBILITY OF REMOVING THE RESPONSIBLE ENGINEER'S STAMP.

**PROJECT INFORMATION**

BUILDING CODES: IRC, IMC, IEBC 2015 MASSACHUSETTS BUILDING CODE 9TH EDITION AMENDMENTS  
 LOCAL JURISDICTION: CITY, STATE: ZONING & GENERAL BY LAWS MEDWAY, MA 02053  
 OCCUPANCY GROUP: R (RESIDENTIAL)  
 TYPE OF CONSTRUCTION: SIDE ADDITION

## GENERAL NOTES

1. ALL WORK SHALL CONFORM TO MASSACHUSETTS BUILDING CODE AND ALL FEDERAL, STATE AND TOWN OF MEDWAY LAWS, CODES AND REGULATIONS AS EACH MAY APPLY.

2. ALL EXISTING CONDITIONS MUST BE VERIFIED IN FIELD. IF DISCREPANCIES ARE FOUND, THEY HAVE TO BE REPORTED TO THE ENGINEER PRIOR TO START OF WORK. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF SUCH WORK.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING AND WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH THE WORK.

4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING BUT NOT LIMITED TO BRACING AND SHORING.

5. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

6. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS AND WORKMANLIKE MANNER IN CONFORMITY WITH THE PLANS AND SPECIFICATIONS, AND SHALL BE IN GOOD USABLE CONDITION AT THE COMPLETION OF THE PROJECT.

7. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND STRUCTURE PLACEMENT, PRIOR TO START OF THE WORK. THE CONTRACTOR WILL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO SAME. ANY DAMAGE TO EXISTING STRUCTURES AND UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWINGS, SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

8. PRIOR TO BIDDING THE WORK, THIS CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY REVIEW THE ACTUAL CONDITIONS AND QUANTITIES. IF ANY, NO CLAIM AGAINST THE OWNER OR ENGINEER WILL BE ALLOWED FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.

9. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.

10. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY NEW CONSTRUCTION.

11. CONTRACTOR SHALL VERIFY FLOOR TO FLOOR HEIGHTS PRIOR TO COMMENCING CONSTRUCTION.

12. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR INSTRUCTION.

13. ALL WORK TO BE EXECUTED IN ACCORDANCE WITH STATE AND LOCAL CODES AND INDUSTRY STANDARD CONSTRUCTION REQUIREMENTS.

14. INSULATION REQUIREMENTS WERE PREPARED IN ACCORDANCE WITH STATE BUILDING CODE. MANY COMMUNITIES HAVE INCREASED THESE REQUIREMENTS BY ADOPTING "ENERGY STRETCH CODE". CHECK WITH LOCAL BUILDING DEPARTMENT REGARDING THESE REQUIREMENTS, EXCEPTIONS, AND WAIVERS.

## ARCHITECT'S NOTES:

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.

2. OTHER BUILDING SYSTEMS SUCH AS: MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER.

3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.

## DECK NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION, SHORING, AND RELOCATION WORKS, IF ANY.

2. ALL WOOD TO BE PRESSURE TREATED, SYP NO 2 OR BETTER.

3. ALL CONNECTORS TO STAINLESS STEEL.

4. CONCRETE SHALL BE FC = 3000 PSI.

5. DECK BOARDS SHALL BE ATTACHED TO EACH JOIST WITH TWO NAILS OR DECK SCREWS.

6. CONNECTOR SHALL BE BY SIMPSON OR APPROVED EQUAL.

## GENERAL CONDITIONS:

1. CONTRACTOR SHALL REVIEW ALL DEMOLITION PROCEDURES WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

2. CONTRACTOR SHALL PREPARE A DEMOLITION / CONSTRUCTION SCHEDULE TO BE SUBMITTED, REVIEWED AND COORDINATED WITH THE MANAGEMENT COMPANY A MINIMUM OF 1 WEEK PRIOR TO ANY PLANNED WORK.

3. NO WORK SHALL BE EXECUTED BEFORE 8 A.M. AND NO LATER THAN 6 P.M., WEEKENDS AND HOLIDAYS.

4. CONTRACTOR SHALL SAFEGUARD AND PROTECT THE EXISTING LANDSCAPE AND SHALL BE RESPONSIBLE FOR ANY REPAIRS OR CORRECTIVE DAMAGE.

5. THE CONTRACTOR SHALL COORDINATE WITH THE MANAGEMENT COMPANY FOR TEMPORARY TOILET FACILITIES, TEMPORARY ELECTRIC, PARKING FOR WORKERS, MATERIAL DELIVERIES AND STORAGE.

6. CONTRACTOR SHALL ON A DAILY BASIS MAINTAIN A SAFE AND ORDERLY PROJECT SITE, FREE OF ANY HAZARDS.

## FIRE NOTES:

1. FIRE BLOCKING REQUIRED. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

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a2. VERTICALLY AT THE CEILING AND FLOOR LEVELS.

b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.

c. IN CONCEALED SPACES BETWEEN STAIR STRINGS AT THE TOP AND BOTTOM OF THE RUN.

d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.



44 Eastmore Ave  
Framingham, MA  
01702 (774) 306-2972  
www.millhawk.com

Project Information  
Burford Ct  
2 Burford Ct  
Medway

Type of Project  
Site Addition

Drawn by: Lisa Arrighi

Revised by: Phoebe K

Drawing Date: 5/2/25

Drawing Version

Drawing Scale

Project Number: 0327

Revisions

Stamp

REVIEWED BY

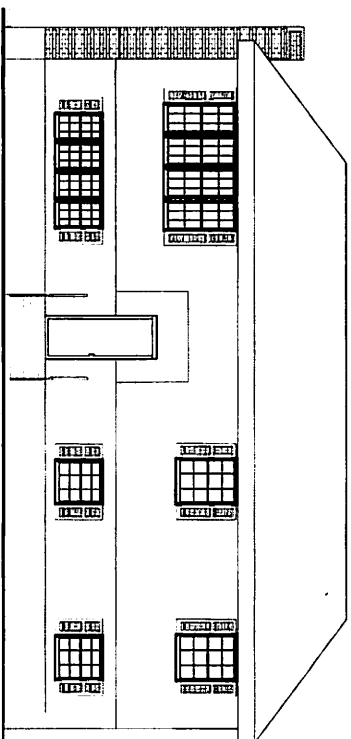


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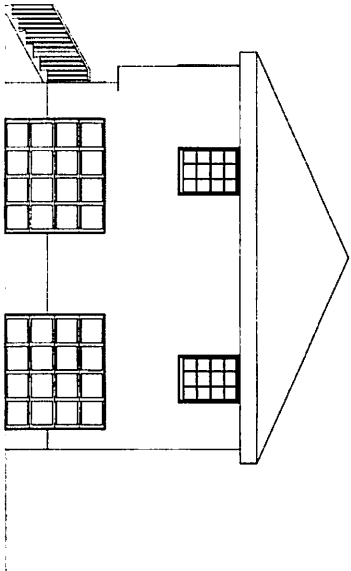
GENERAL  
NOTES

Sheet

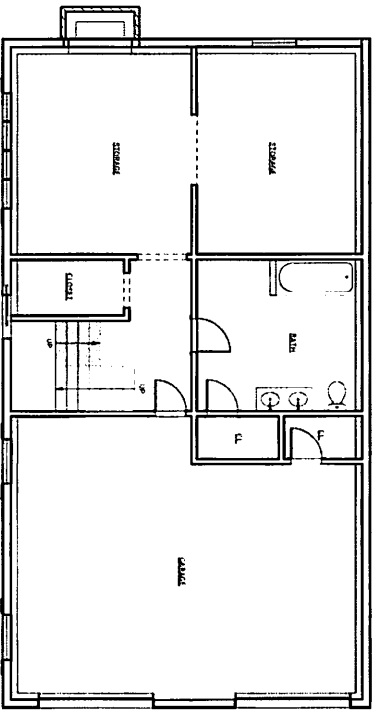
0-GENERAL  
NOTES



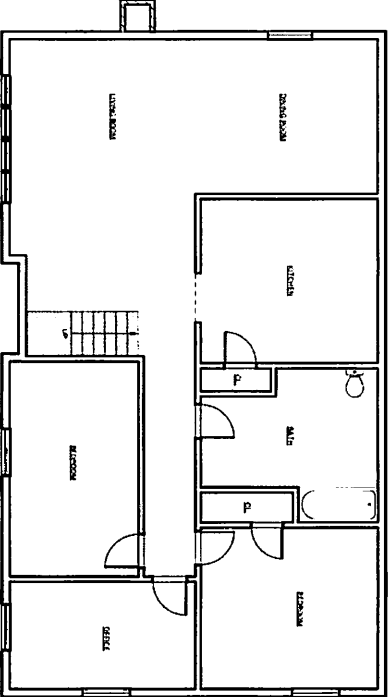
1 1st FLOOR FRONT ELEVATION



2 2nd FLOOR REAR ELEVATION



1 1st FLOOR PLAN



2 2nd FLOOR PLAN



ARCHITECTURE  
INTERIOR DESIGN  
LANDSCAPE ARCHITECTURE  
PLANNING  
CONSTRUCTION MANAGEMENT

1000 N. CENTRAL  
SUITE 100  
DENVER, CO 80202  
303.733.1111  
www.millhawk.com

DESIGNED BY  
DRAWN BY  
CHECKED BY  
DATE

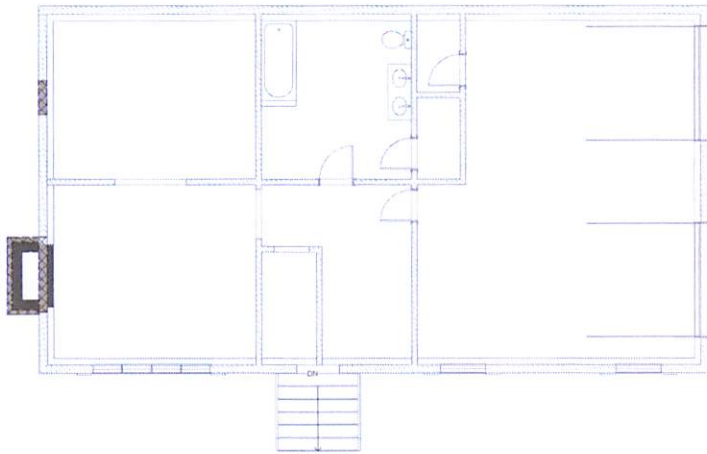
PROJECT NO. 1000  
SHEET NO. 1000-1000



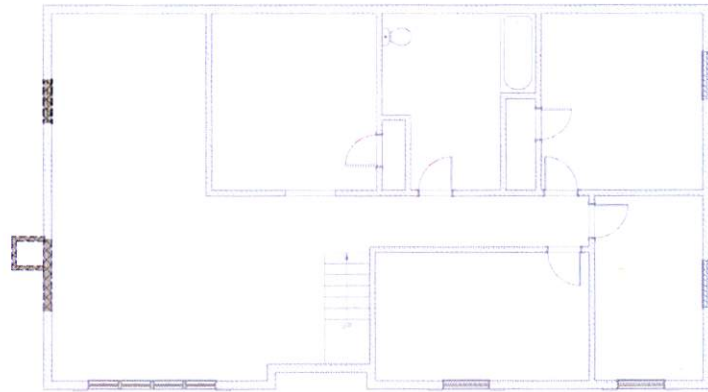
REVIEWED BY  
DATE

SCALE  
A = 1/8" = 1'-0"

EXISTING CONDITIONS



① D1 - BASEMENT DEMOLITION  
1/4" = 1'-0"



② D2 - 1ST FLOOR DEMOLITION  
1/4" = 1'-0"

WALL LEGEND	
GRAPHIC	DESCRIPTION
	EXISTING 8FT CONCRETE WALL - 12" THICKNESS
	EXISTING 2X6 WALL
	EXISTING 2X4 PARTITION WALL
	DEMOLITION
	NEW 8'-0" CONCRETE WALL - 12" THICKNESS
	NEW 2X4 K.D. STUD @ 16" O.C. - INTERIOR WALL
	NEW 2X6 K.D. STUD @ 16" O.C. - INTERIOR WALL
	NEW 2X6 K.D. STUD @ 16" O.C. - EXTERIOR WALL



44 Dinwiddie Ave.  
Framingham, MA  
01702 (781) 336-2972  
www.milhawk.com

Project Information  
Bulard Cir.  
2 Bulard Cir.  
Medway

Type of Project  
Side Addition

Drawn by: Liam Amara

Reviewed by: Rhuel K.

Drawing Date: 1/22/25

Drawing Version

Drawing Scale As Indicated

Project Number: 0327

baseline

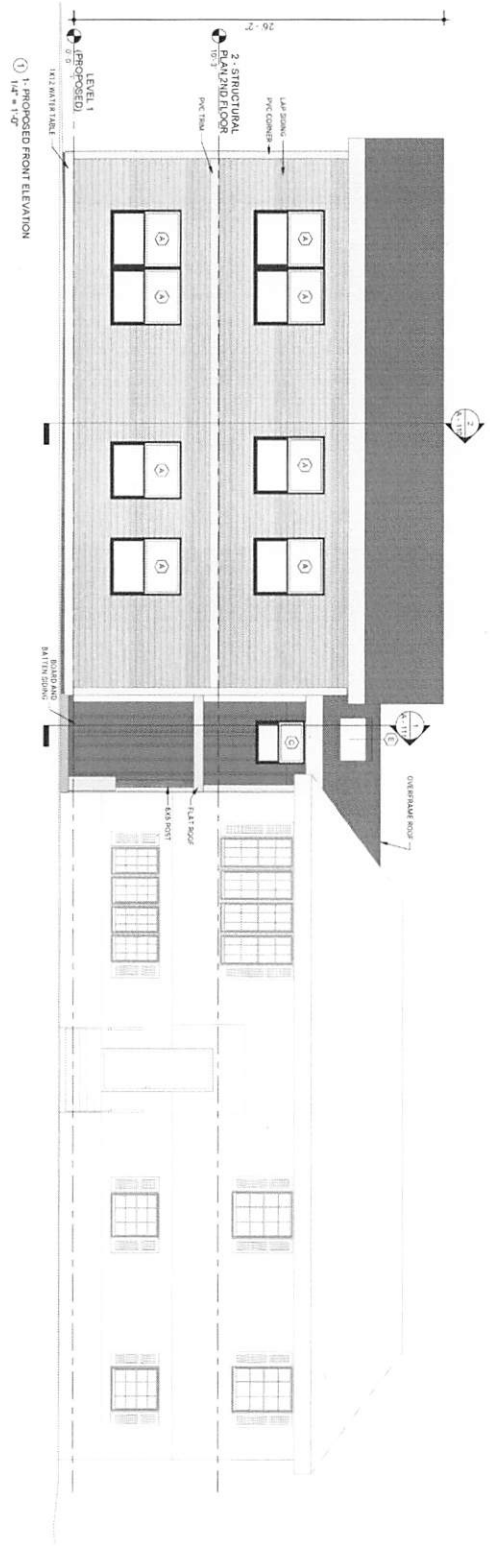
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REVIEWED BY

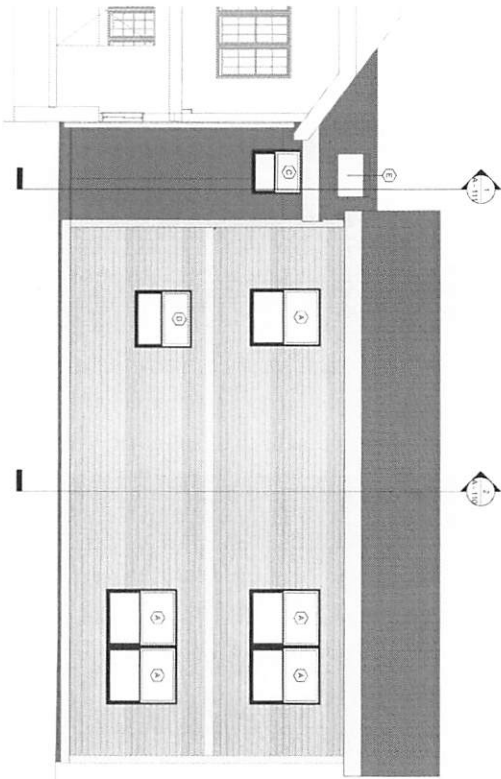


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DEMOLITION

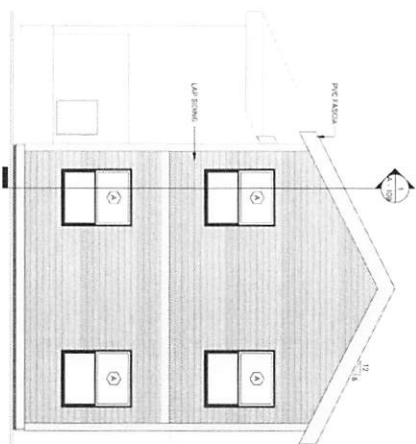
Sheet:  
D - 001 -  
DEMOLITION



1. PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



2. PROPOSED REAR ELEVATION  
1/4" = 1'-0"



3. PROPOSED WEST ELEVATION  
1/4" = 1'-0"



441 DUNDREY AVE  
444 HUNTINGTON AVE  
COLUMBUS, OH 43206-2972  
WWW.MILLHAWK.COM

Project Information  
Millard Co.  
2020  
Medway

Typed Project  
Site Address

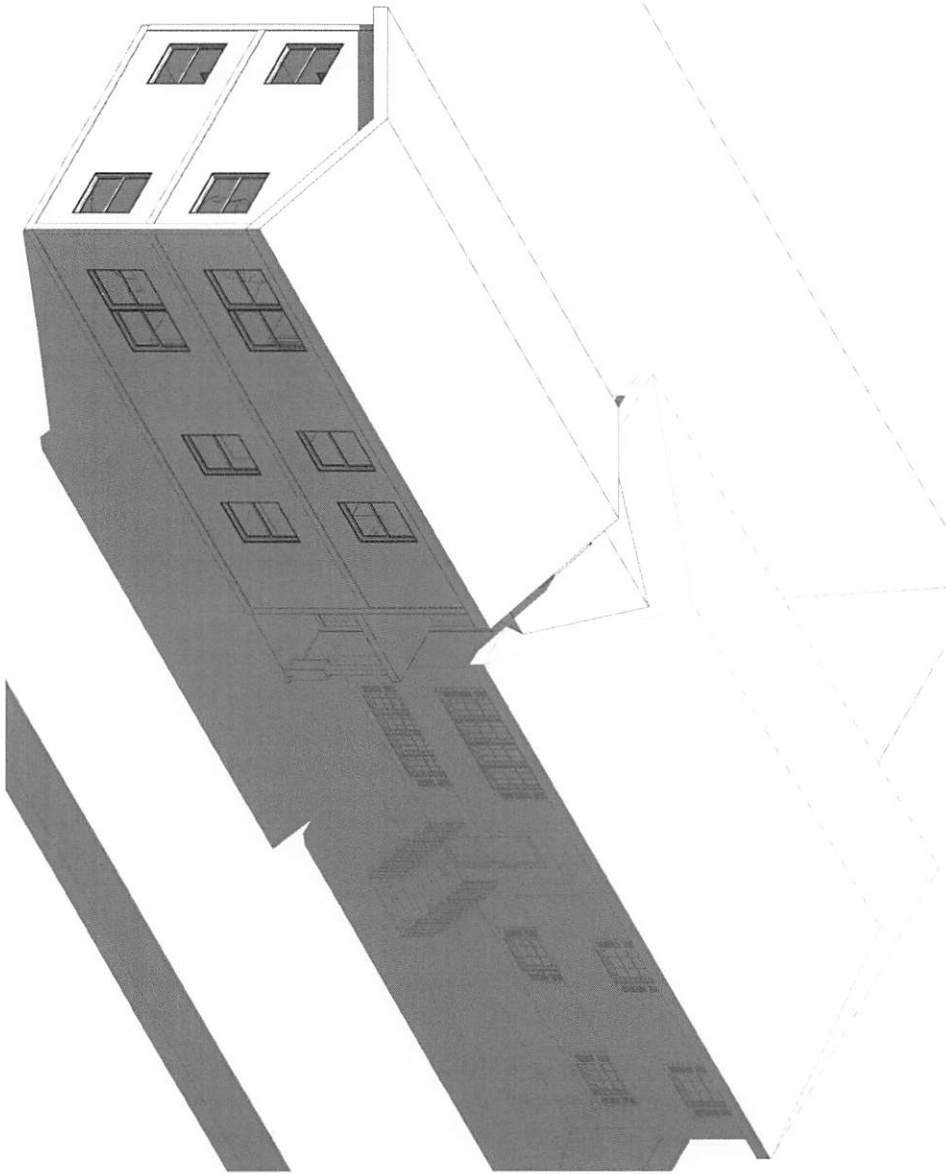
Drawn by: [Name]  
Revised by: [Name]  
Drawing Date: 5/27/25  
Drawing Version  
Drawing Scale: 1/4" = 1'-0"  
Project Number: 0327  
Sheet 06



Title  
PROPOSED  
ELEVATIONS

Sheet  
A - 101

SECTION 1



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441 Lexington Ave  
 17th Floor  
 New York, NY 10017  
 Tel: (212) 512-2000  
 Fax: (212) 512-2001  
 www.millhawk.com

Project: 100702701  
 Location: 441 Lexington Ave  
 Architect: Millhawk  
 Date: 03/2014

Type of Project:  
 Site Addition

Drawn by: [Name]  
 Checked by: [Name]  
 Date: 03/2014

Drawing Scale:  
 Project Number: 100702701

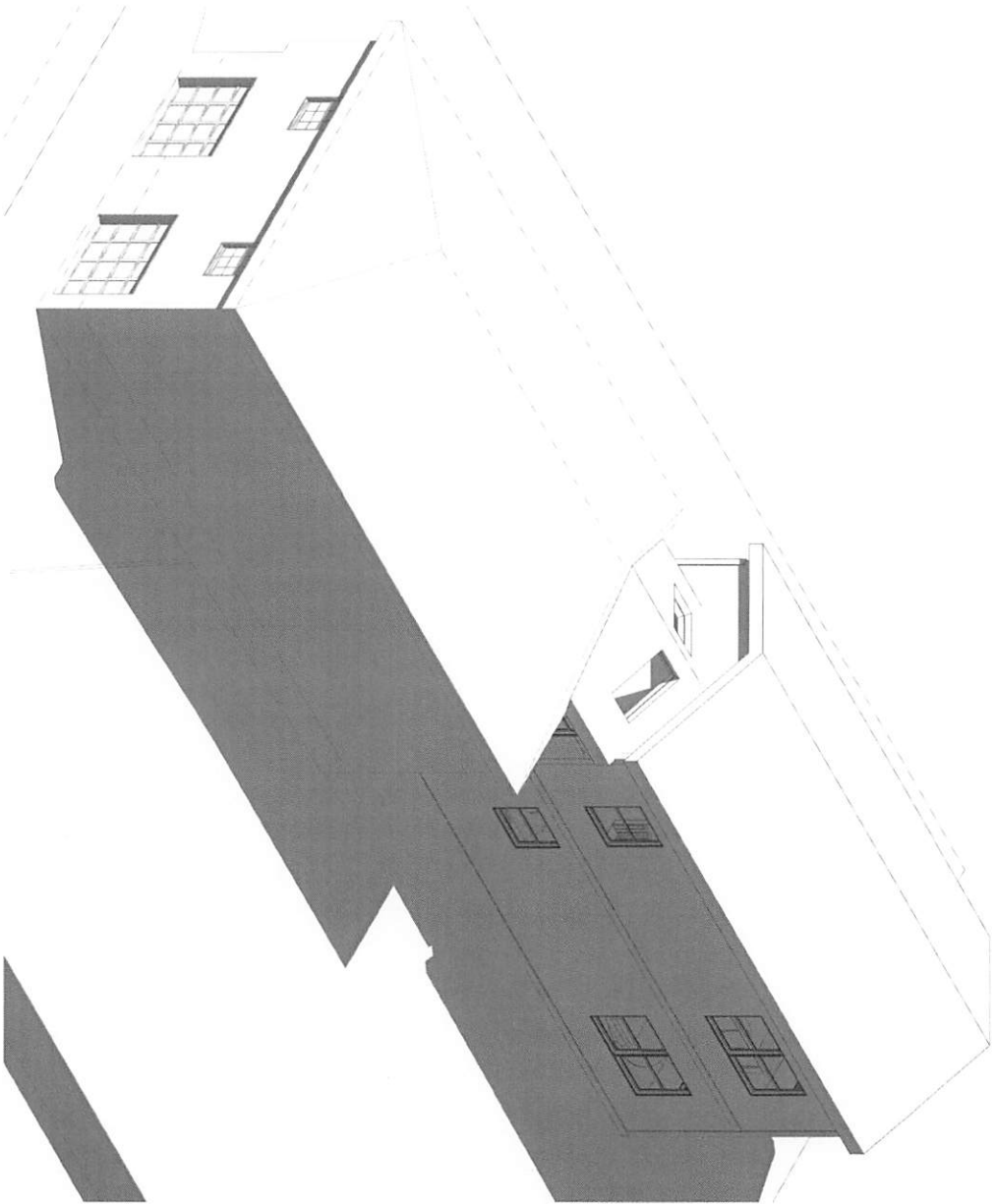
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REVIEWED BY  
 [Signature]

Sheet:  
 A-102





01 AXON 3



44 Lakeside Ave  
 Farmington, VA  
 01702 (781) 233-2972  
 www.millhawk.com

Project Information  
 Islander  
 5 Grand Ct,  
 Medford

Type of Project  
 Site Action

Drawn by: [unclear]  
 Revised by: Paul K  
 Drawing Date: 5/27/05

Drawing Version  
 Drawing Scale  
 Project Number: 0527  
 19101010



REVIEWED BY  
 Sharp

Title  
 AXON VIEW  
 3

Sheet  
 A-105



14 Deane Ave  
 Framingham, MA  
 01702 (781) 903-9979  
 www.milthawk.com

Project Information:  
 Building for  
 2 to 4 Bed Ch.  
 Massway

Type of Project:  
 Site Analysis

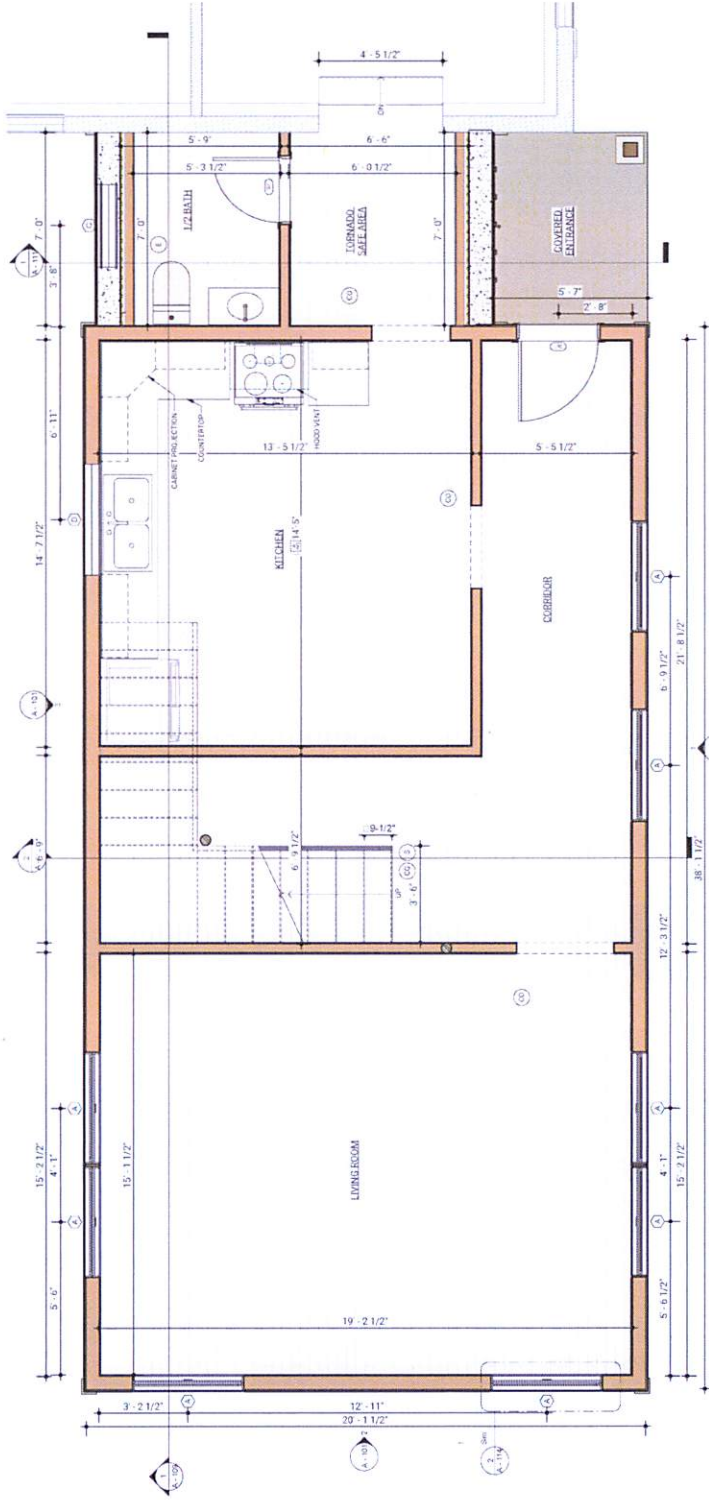
Drawn by: Eric Avogadro  
 Reviewed by: David K.  
 Drawing Date: 9/2/25  
 Drawing Design:  
 Drawing Scale: As indicated  
 Project Number: 0427  
 Full Name:

REVIEWED BY



PROPOSED  
 1ST FLOOR

Sheet  
 A-106



11. PROPOSED 1ST FLOOR  
 12' x 14'

GENERAL LEGEND	DESCRIPTION
1	CONCRETE WALL
2	SMOKE EXTRACTOR
3	EXHAUST FAN

GRAPHIC	DESCRIPTION
[Pattern]	EXISTING 8" CONCRETE WALL - 12" THICKNESS
[Pattern]	EXISTING 2X6 WALL
[Pattern]	EXISTING 2X4 PARTITION WALL
[Pattern]	DEMOLITION
[Pattern]	NEW 8" CONCRETE WALL - 12" THICKNESS
[Pattern]	NEW 2X4 K.D. STUD @ 16" O.C. - INTERIOR WALL
[Pattern]	NEW 2X6 K.D. STUD @ 16" O.C. - INTERIOR WALL
[Pattern]	NEW 2X4 K.D. STUD @ 16" O.C. - EXTERIOR WALL

**GROSS AREA**  
 EXISTING CONDITION  
 BASEMENT = 928 SQ FT  
 COVERED GARAGE = 500 SQ FT  
 1ST FLOOR = 1,479 SQ FT  
 TOTAL EXISTING = 2,856 SQ FT

**NEW CONDITIONS**  
 1ST FLOOR = 1,479 SQ FT  
 2ND FLOOR (OLD ATTIC) = 865 SQ FT  
 TOTAL OF ADDITION AREA = 1,799 SQ FT  
 NEW TOTAL GROSS AREA = 4,656 SQ FT

**FIRE BLOCKING**  
 1. FIRE BLOCKING REQUIRED: FIRE BLOCKERS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED AT ALL INTERSECTIONS OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:  
 a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 b. AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 c. IN CONCEALED SPACES BETWEEN STAR STRINGS AT THE TOP AND BOTTOM OF THE RISE.  
 d. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 e. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 f. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 g. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 h. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 i. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 j. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 k. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 l. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 m. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 n. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 o. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 p. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 q. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 r. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 s. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 t. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 u. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 v. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 w. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 x. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 y. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
 z. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.

**GENERAL NOTES:**  
 1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY NEW CONSTRUCTION.  
 2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR INSTRUCTION.  
 3. ALL WORK TO BE EXECUTED IN ACCORDANCE WITH STATE AND LOCAL CODES AND INDUSTRY STANDARDS/CONSTRUCTION REQUIREMENTS.



MILLHAWK  
DESIGN & ARCHITECTURE

44 Dinwiddie Ave  
Frammingham MA  
01702 | 781-336-2872  
www.millhawk.com

Project Information  
Ballard Cir  
2 Ballard Cir  
Merway

Type of Project  
Side Addition

Drawn by: Liam Amador  
Revised by: Phavel K  
Drawing Date: 5/2/25

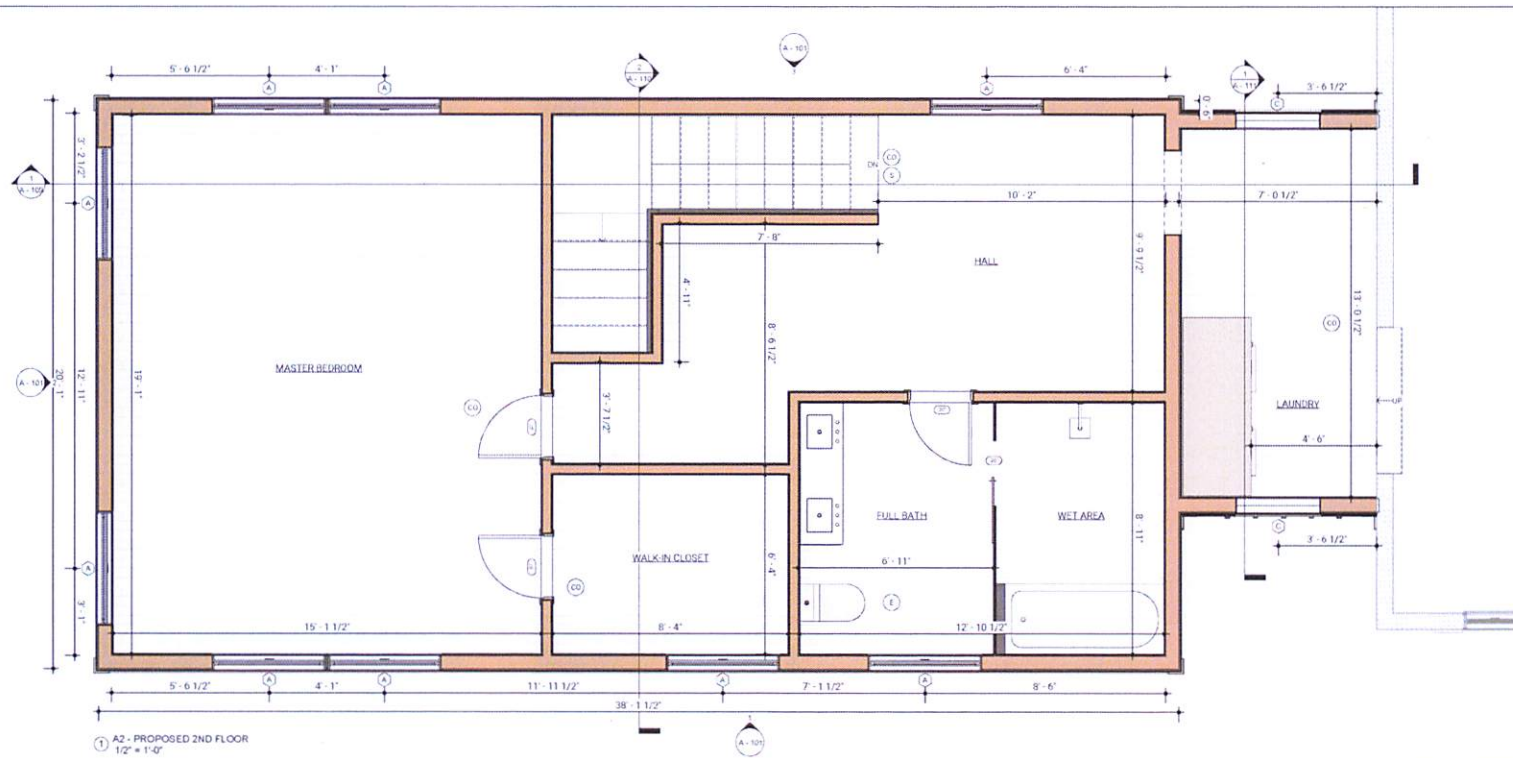
Drawing Version  
Drawing Scale As Indicated  
Project Number: 0327

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Stamp  
REVIEWED BY

Title  
**PROPOSED  
2ND FLOOR**

Sheet  
A - 107



1 A2 - PROPOSED 2ND FLOOR  
1/2" = 1'-0"

**ARCHITECTS NOTES**

- THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES
- OTHER BUILDING SYSTEMS SUCH AS MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER
- ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS
- FIRE BLOCKING REQUIRED: FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
  - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
    - VERTICALLY AT THE CEILING AND FLOOR LEVELS
    - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS
    - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN
    - AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION

**GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY NEW CONSTRUCTION
- CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR INSTRUCTION
- ALL WORK TO BE EXECUTED IN ACCORDANCE WITH STATE AND LOCAL CODES AND INDUSTRY STANDARD CONSTRUCTION REQUIREMENTS

**FIRE NOTES**

- FIRE BLOCKING REQUIRED: FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
  - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
    - VERTICALLY AT THE CEILING AND FLOOR LEVELS
    - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS
    - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN
    - AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION

**IMPORTANT NOTICE**

THE CONTRACTOR HIRER BY THE CLIENT DOES NOT HAVE THE AUTHORITY TO MODIFY STRUCTURAL DETAILS, INTERNAL LAYOUT, OR ANY OTHER ASPECTS COVERED BY THE PROJECT. IF THE CONTRACTOR IDENTIFIES ANY NECESSARY CHANGES, THEY MUST CONTACT MILLHAWK DSG & ARCH TO REQUEST A MODIFICATION, WHICH WILL ONLY BE CONSIDERED THROUGH AN RFI (REQUEST FOR INFORMATION) JUSTIFYING THE NEED FOR THE CHANGE. THE MODIFICATION WILL BE GRANTED AND UPDATED IN THE PROJECT THROUGH A BULLETIN. IF THE CONTRACTOR ALTERS ANY STRUCTURAL COMPONENT WITHOUT PRIOR NOTICE, A FINE WILL BE IMPOSED ON THE C.S. HOLDER OR THE PERSON IN CHARGE OF THE WORK, WITH THE POSSIBILITY OF REMOVING THE RESPONSIBLE ENGINEER'S STAMP. IF THE CONTRACTOR ALTERS THE LAYOUT OR ANY PROJECT DETAILS WITHOUT PRIOR APPROVAL, A FINE MAY BE IMPOSED ON THE C.S. HOLDER OR THE PERSON IN CHARGE, WITH THE POSSIBILITY OF REMOVING THE RESPONSIBLE ENGINEER'S STAMP.

GENERAL LEGEND	
GRAPHIC	DESCRIPTION
	CARBON MONOXIDE
	SMOKE DETECTOR
	EXHAUST FAN

WALL LEGEND	
GRAPHIC	DESCRIPTION
	EXISTING 8FT CONCRETE WALL - 12" THICKNESS
	EXISTING 2X6 WALL
	EXISTING 2X4 PARTITION WALL
	DEMOLITION
	NEW 8' 0" CONCRETE WALL - 12" THICKNESS
	NEW 2X4 K.D. STUD @ 16" O.C. - INTERIOR WALL
	NEW 2X6 K.D. STUD @ 16" O.C. - INTERIOR WALL
	NEW 2X6 K.D. STUD @ 16" O.C. - EXTERIOR WALL



44 Dinwiddie Ave  
Pittsborough, MA  
01702 | 781-300-2972  
www.milhawk.com

Project Information  
Bullard Cir  
2 Bullard Cir,  
Medway

Type of Project  
Side Addition

Drawn by: Luis Arriola

Reviewed by: Pavel K.

Drawing Date: 5/27/25

Drawing Version

Drawing Scale: 1/2" = 1'-0"

Project Number: 0327

bulletin

Stamp

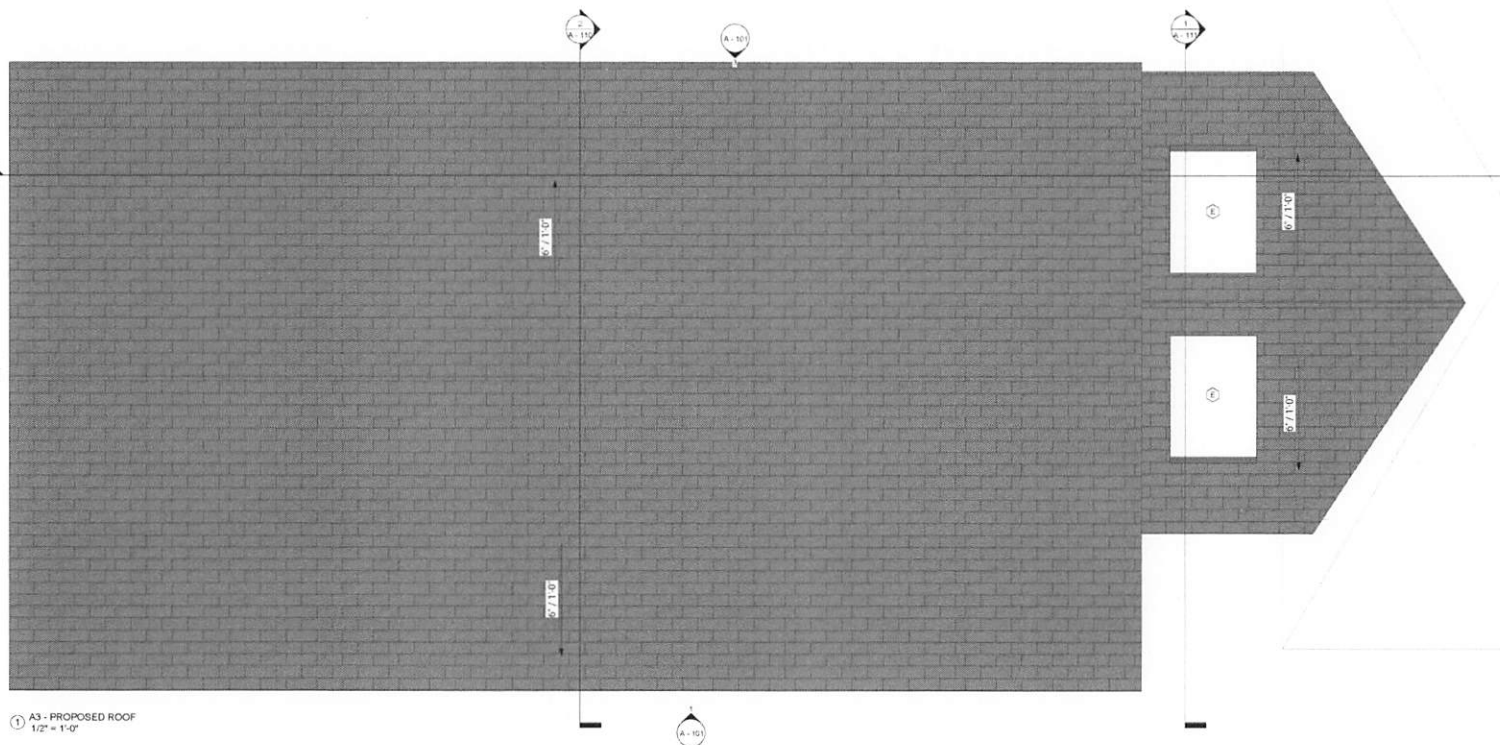
REVIEWED BY



Title  
**PROPOSED  
ROOF**

Sheet

A - 108



1 A3 - PROPOSED ROOF  
1/2" = 1'-0"

**ARCHITECT'S NOTES**

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES
2. OTHER BUILDING SYSTEMS SUCH AS MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER
3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
4. FIRE BLOCKING REQUIRED: FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
  - a1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
    - a2. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
  - b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
  - c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
  - d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

**GENERAL NOTES**

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY NEW CONSTRUCTION.
2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR INSTRUCTION.
3. ALL WORK TO BE EXECUTED IN ACCORDANCE WITH STATE AND LOCAL CODES AND INDUSTRY STANDARD CONSTRUCTION REQUIREMENTS.

**FIRE NOTES**

1. FIRE BLOCKING REQUIRED: FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
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  - b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
  - c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
  - d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

**FIRE-CEMENT PANEL NOTES**

1. ALL NOTES AND DETAILS PROVIDED ARE IN ACCORDANCE WITH THE JAMES HARDIE HZ5 BEST PRACTICES - INSTALLATION GUIDE SIDING AND TRIM PRODUCTS VERSION 9.1 - DECEMBER 2019. ALL RESPONSIBILITIES AND WARRANTIES MUST BE PROVIDED BY THE MANUFACTURER. MILLHAWK DSG & ARCH WILL NOT BE RESPONSIBLE FOR FUTURE ISSUES, MALFUNCTIONS, DAMAGE, LEAKAGE, PANEL DETACHMENTS, AND ANY OTHER RISKY SITUATIONS.
2. RECOMMENDED FASTENERS ARE BASED ON THE ICC-ES ESR-1844, TABLE 4. MILLHAWK DSG & ARCH WILL NOT BE RESPONSIBLE FOR FUTURE ISSUES, MALFUNCTIONS, DAMAGE, LEAKAGE, PANEL DETACHMENTS, AND ANY OTHER RISKY SITUATIONS.

**IMPORTANT NOTES**

THE CONTRACTOR HIRED BY THE CLIENT DOES NOT HAVE THE AUTHORITY TO MODIFY STRUCTURAL DETAILS, INTERNAL LAYOUT, OR ANY OTHER ASPECTS COVERED BY THE PROJECT. IF THE CONTRACTOR IDENTIFIES ANY NECESSARY CHANGES, THEY MUST CONTACT MILLHAWK DSG & ARCH TO REQUEST A MODIFICATION, WHICH WILL ONLY BE CONSIDERED THROUGH AN RFI (REQUEST FOR INFORMATION), JUSTIFYING THE NEED FOR THE CHANGE. THE MODIFICATION WILL BE GRANTED AND UPDATED IN THE PROJECT THROUGH A BULLETIN. IF THE CONTRACTOR ALTERS ANY STRUCTURAL COMPONENT WITHOUT PRIOR NOTICE, A FINE WILL BE IMPOSED ON THE CSL HOLDER OR THE PERSON IN CHARGE OF THE WORK, WITH THE POSSIBILITY OF REMOVING THE RESPONSIBLE ENGINEERS STAMP. IF THE CONTRACTOR ALTERS THE LAYOUT OR ANY PROJECT DETAILS WITHOUT PRIOR APPROVAL, A FINE MAY BE IMPOSED ON THE CSL HOLDER OR THE PERSON IN CHARGE, WITH THE POSSIBILITY OF REMOVING THE RESPONSIBLE ENGINEERS STAMP.



44 Dinsmore Ave.  
Framingham, MA  
01702, (781) 366-2472  
www.milhawk.com

Project Information  
Holland Cir.  
2 Bulfinch Cir.  
Medway

Type of Project  
Site Addition

Drawn by: Lisa Adams

Reviewed by: Hazel K

Drawing Date: 5/2/25

Drawing Version

Drawing Scale: 1/2" = 1'-0"

Project Number: 0327

bulletins

Stamp

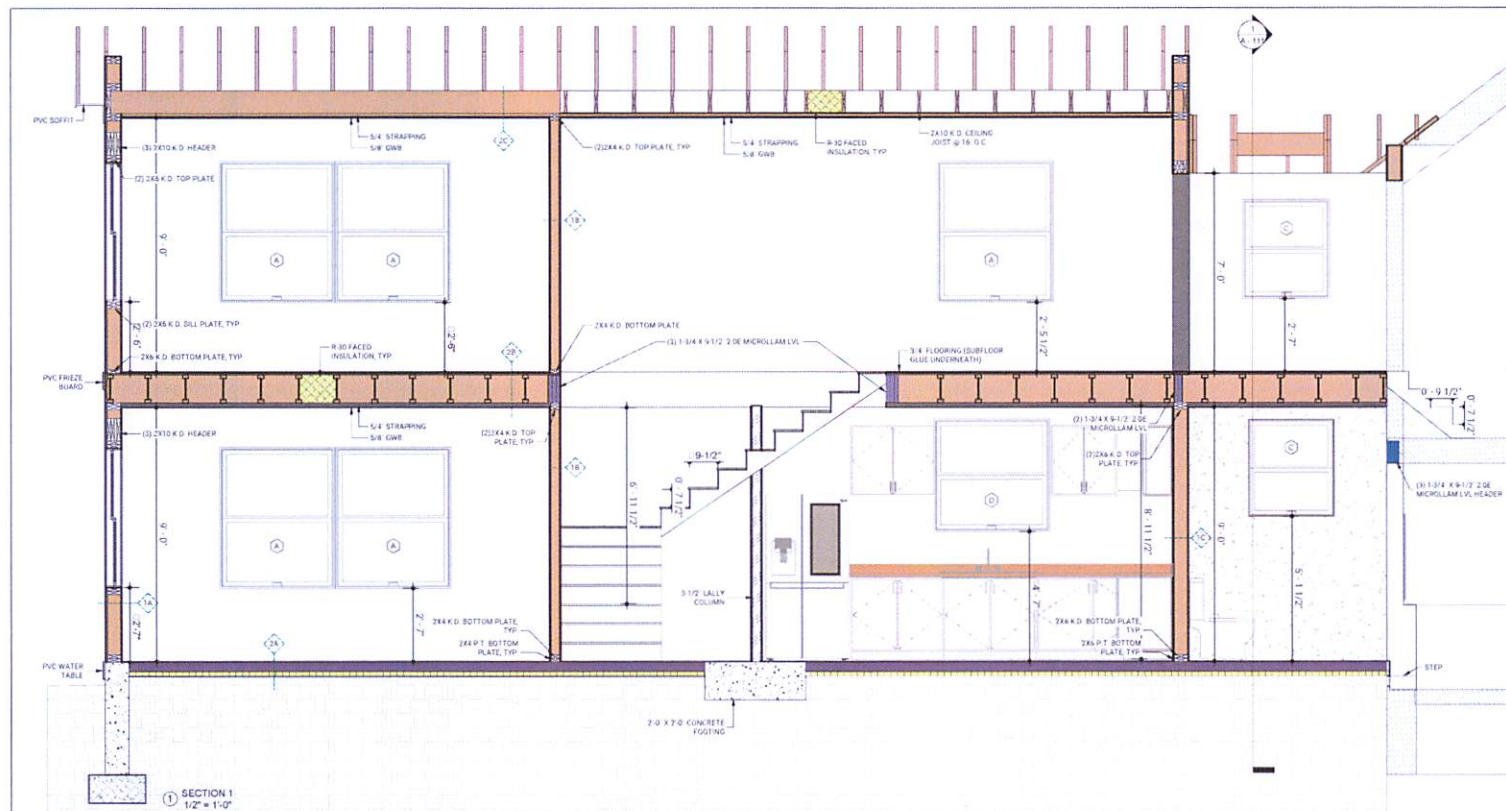
REVIEWED BY



Title  
SECTION 1

Sheet

A - 109



**ARCHITECT'S NOTES:**

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES
2. OTHER BUILDING SYSTEMS SUCH AS MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER
3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS
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a.1 IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:  
a2 VERTICALLY AT THE CEILING AND FLOOR LEVELS.  
b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS  
c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.  
d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

**GENERAL NOTES:**

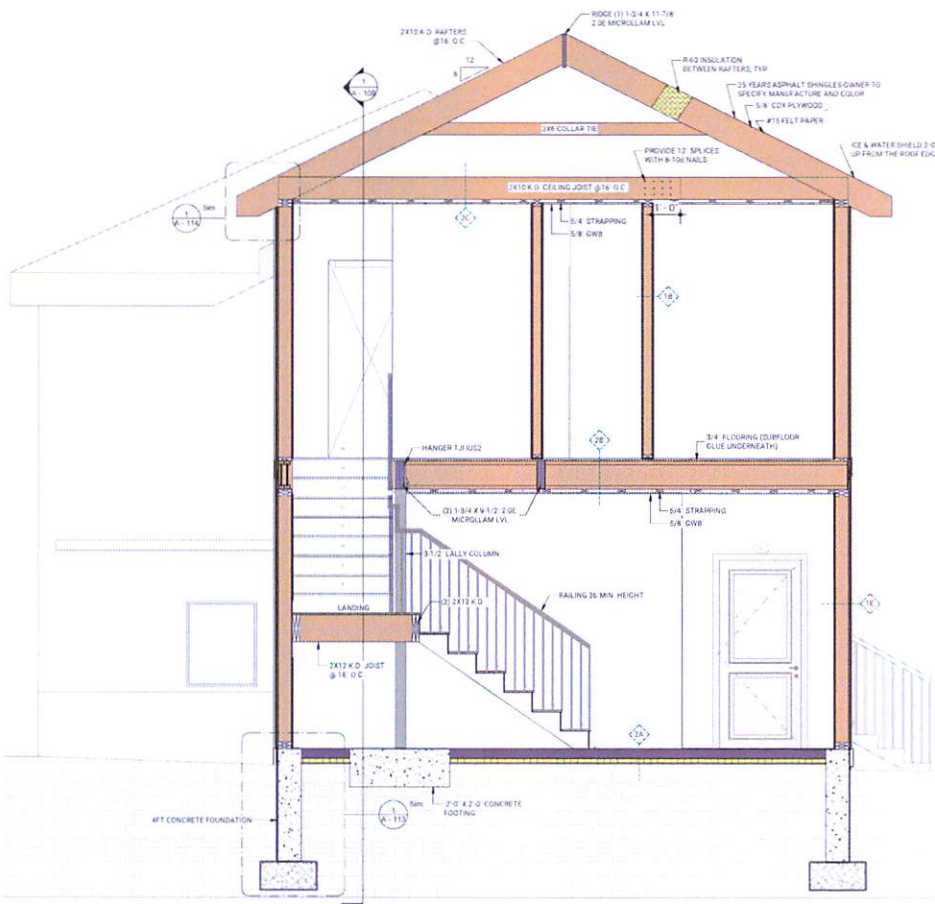
1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY NEW CONSTRUCTION
2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR INSTRUCTION.
3. ALL WORK TO BE EXECUTED IN ACCORDANCE WITH STATE AND LOCAL CODES AND INDUSTRY STANDARD CONSTRUCTION REQUIREMENTS

**FIRE NOTES:**

1. FIRE BLOCKING REQUIRED: FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:  
a.1 IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:  
a2 VERTICALLY AT THE CEILING AND FLOOR LEVELS  
b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS  
c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.  
d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION

**FIBER CEMENT PANEL NOTES:**

1. ALL NOTES AND DETAILS PROVIDED ARE IN ACCORDANCE WITH THE JAMES HARDIE HZ5 BEST PRACTICES - INSTALLATION GUIDE SIDING AND TRIM PRODUCTS VERSION 9.1 - DECEMBER 2019
- ALL RESPONSIBILITIES AND WARRANTIES MUST BE PROVIDED BY THE MANUFACTURER
- MILHAWK DSG & ARCH WILL NOT BE RESPONSIBLE FOR FUTURE ISSUES, MALFUNCTIONS, DAMAGE, LEAKAGE, PANEL DETACHMENTS, AND ANY OTHER RISKY SITUATIONS
2. RECOMMENDED FASTENERS ARE BASED ON THE ICC ESR-1844, TABLE 4. MILHAWK DSG & ARCH WILL NOT BE RESPONSIBLE FOR FUTURE ISSUES, MALFUNCTIONS, DAMAGE, LEAKAGE, PANEL DETACHMENTS, AND ANY OTHER RISKY SITUATIONS



SECTION 2  
1/2" = 1'-0"

**FIBER-CEMENT PANEL NOTES**

1. ALL NOTES AND DETAILS PROVIDED ARE IN ACCORDANCE WITH THE JAMES HARDIE H2'S BEST

PRACTICES - INSTALLATION GUIDE SIDING AND TRIM PRODUCTS, VERSION 9.1 - DECEMBER 2019. ALL RESPONSIBILITIES AND WARRANTIES MUST BE PROVIDED BY THE MANUFACTURER. MILLHAWK DSG & ARCH WILL NOT BE RESPONSIBLE FOR FUTURE ISSUES, MALFUNCTIONS, DAMAGE, LEAKAGE, PANEL DETACHMENTS, AND ANY OTHER RISKY SITUATIONS.

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2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR INSTRUCTION.
3. ALL WORK TO BE EXECUTED IN ACCORDANCE WITH STATE AND LOCAL CODES AND INDUSTRY STANDARD CONSTRUCTION REQUIREMENTS.

**ARCHITECT'S NOTES**

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.
2. OTHER BUILDING SYSTEMS SUCH AS MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER.
3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
4. FIRE BLOCKING REQUIRED. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
  - a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
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    2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
  - b. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
  - c. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

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44 Dinwiddie Ave  
Framingham, MA  
01702 (774) 330-2572  
www.milhawk.com

Project Information  
Bullard Cir  
Medway

Type of Project  
Side Addition

Drawn by: Liam Arrand

Revised by: Phoebe K

Drawing Date: 02/25

Drawing Version

Drawing Scale: 1/2" = 1'-0"

Project Number: 0327

Bulletins

Stamp

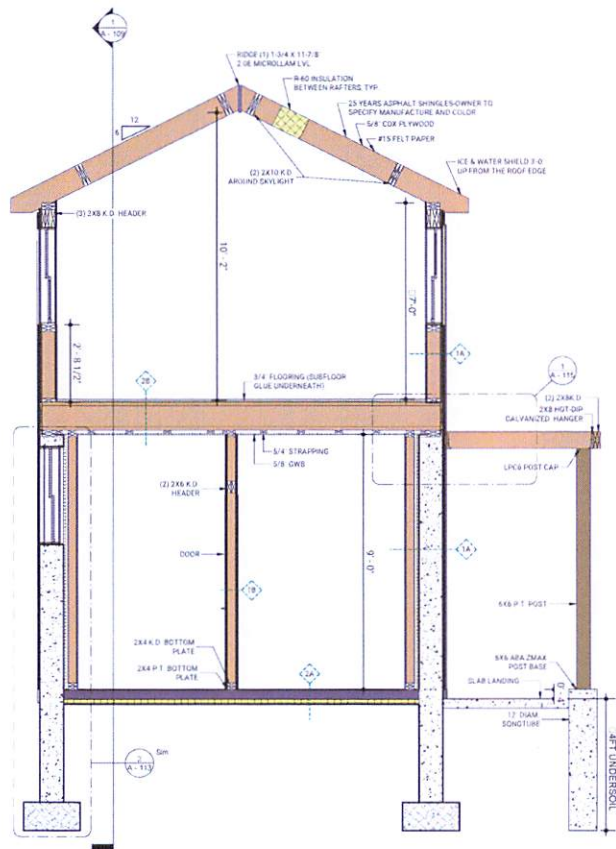
REVIEWED BY



Title  
SECTION 2

Sheet

A - 110



SECTION 3  
1/2" = 1'-0"

**GENERAL NOTES**

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY NEW CONSTRUCTION
2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR INSTRUCTION
3. ALL WORK TO BE EXECUTED IN ACCORDANCE WITH STATE AND LOCAL CODES AND INDUSTRY STANDARD CONSTRUCTION REQUIREMENTS

**FIBER CEMENT PANEL NOTES**

1. ALL NOTES AND DETAILS PROVIDED ARE IN ACCORDANCE WITH THE JAMES HARDIE H2S TEST PRACTICES - INSTALLATION GUIDE SIDING AND TRIM PRODUCTS VERSION 9.1 - DECEMBER 2013. ALL RESPONSIBILITIES AND WARRANTIES MUST BE PROVIDED BY THE MANUFACTURER. MILLHAWK DESIGN & ARCHITECTURE WILL NOT BE RESPONSIBLE FOR FUTURE ISSUES, MALFUNCTIONS, DAMAGE, LEAKAGE, PANEL DETACHMENTS, AND ANY OTHER RISKY SITUATIONS.
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**ARCHITECT'S NOTES**

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.
2. OTHER BUILDING SYSTEMS SUCH AS MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER.
3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
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  - b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING
  - c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
  - d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

**FIRE NOTES**

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44 Danmore Ave  
Hartford, MA  
01102 (741) 300-2972  
www.millhawk.com

Project Information  
Bulford Cir  
2 Bulford Cir  
Medway

Type of Project  
Side Addition

Drawn by: Lisa Amador

Reviewed by: Pavel K

Drawing Date: 5/2/25

Drawing Version

Drawing Scale: 1/2" = 1'-0"

Project Number: 0527

Customer:

Stamp:

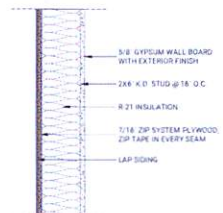
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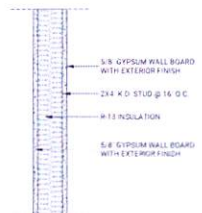
The  
SECTION 3

Sheet

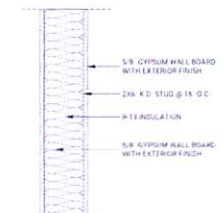
A - 111



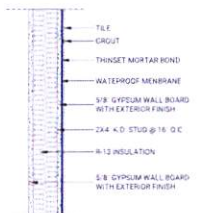
1A EXTERIOR 2X6 WALL



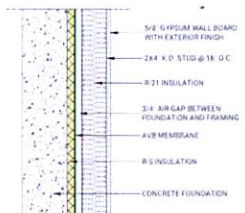
1B 2X4 PARTITION WALL



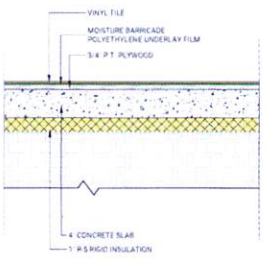
1C 2X6 PARTITION WALL



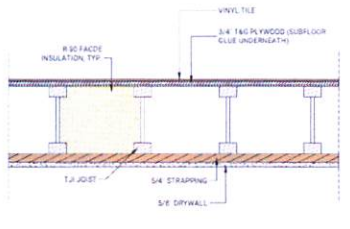
1D 2X4 WALL - WET AREA



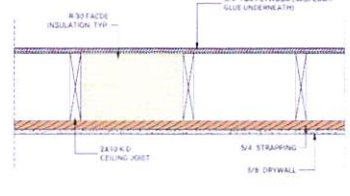
1E TORNADO SAFE WALL



2A FLOOR ASSEMBLY - SLAB



2B FLOOR/CEILING ASSEMBLY



2C CEILING ASSEMBLY

1 WALL ASSEMBLY  
1 1/2" = 1'-0"

**GENERAL NOTES**

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3. ALL WORK TO BE EXECUTED IN ACCORDANCE WITH STATE AND LOCAL CODES AND INDUSTRY STANDARD CONSTRUCTION REQUIREMENTS.

**ARCHITECT'S NOTES**

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.
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4. FIRE BLOCKING REQUIRED. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
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    - a2 AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND DOVE CEILINGS.
    - a3 IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
    - a4 AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

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44 Dinwiddie Ave.  
Framingham, MA  
01702-2741-300-2972  
www.milhawk.com

Project Information  
Building Co.  
2 Bulford Cir.  
Melway

Type of Project  
Site Address

Drawn by: Lisa Amara  
Reviewed by: Phaed K  
Drawing Date: 5/2/25

Drawing Version

Drawing Scale: 1/2" = 1'-0"

Project Number: 0327

Author:

Checker:

Printer:

Stamp:

REVIEWED BY



Title  
WALL  
ASSEMBLY

Sheet  
A - 112

4" CONCRETE SLAB  
FIBERGLASS REINFORCED  
3000 P.S.I. MIN. OVER 6"  
WELL COMPACTED GRAVEL

SILL ANCHOR: 1/2" Ø x 18"  
LONG @ 48" O.C. MAX. AND  
AT 1'-0" FROM CORNERS OR  
OPENINGS

R-5 INSULATION UNDER SLAB  
& AROUND THE SLAB  
PERIMETER (AS REQUESTED  
ON 2021 IECC) TYP.

ADD TWO #5 REBARS TO THE  
FOOTING AND #5 VERTICAL  
TYING THE FOOTING AND  
THE STEP @ 48" O.C.

SECURE CONCRETE WALLS TO  
FOOTINGS WITH KEY WAY.

① 2-FOUNDATION DETAIL - 4FT  
1 1/2" = 1'-0"

**GENERAL NOTES:**

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  - d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

SILL ANCHOR: 1/2" Ø x 18"  
LONG @ 48" O.C. MAX. AND  
AT 1'-0" FROM CORNERS OR  
OPENINGS

4" CONCRETE SLAB  
FIBERGLASS REINFORCED  
3000 P.S.I. MIN. OVER 6"  
WELL COMPACTED GRAVEL

1" AIR GAP BETWEEN  
FOUNDATION AND FRAMING

R-5 INSULATION UNDER SLAB  
& AROUND THE SLAB  
PERIMETER (AS REQUESTED  
ON 2021 IECC) TYP.

ADD TWO #5 REBARS TO THE  
FOOTING AND #5 VERTICAL  
TYING THE FOOTING AND  
THE STEP @ 48" O.C.

SECURE CONCRETE WALLS TO  
FOOTINGS WITH KEY WAY.

② 3-FOUNDATION DETAIL - 8FT WALL  
1 1/2" = 1'-0"



44 Dinwiddie Ave.  
Framingham, MA  
01024 | 781-880-2972  
www.milhawk.com

Project Information  
Dillard Cir.  
2 Dillard Cir.  
Metway

Type of Project  
Side Addition

Drawn by: Lisa Amara  
Reviewed by: Phyllis K  
Drawing Date: 5/22/25

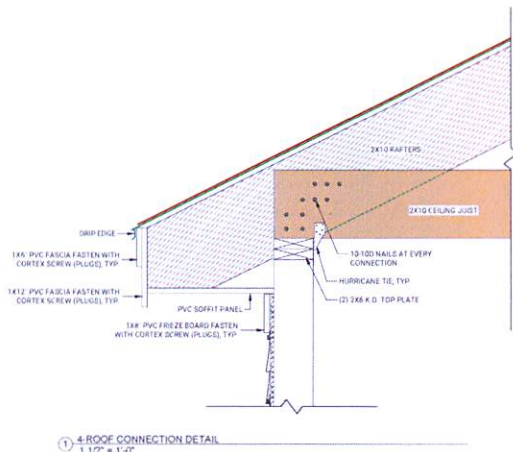
Drawing Version  
Drawing Scale: 1/12" = 1'-0"  
Project Number: 1007

Project Name  
Sheet  
Stamp

REVIEWED BY

Title  
DETAILS

Sheet  
A - 113



**GENERAL NOTES:**

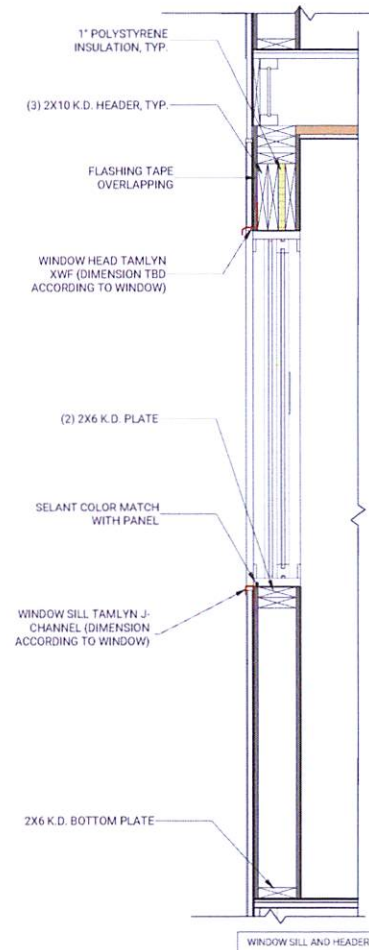
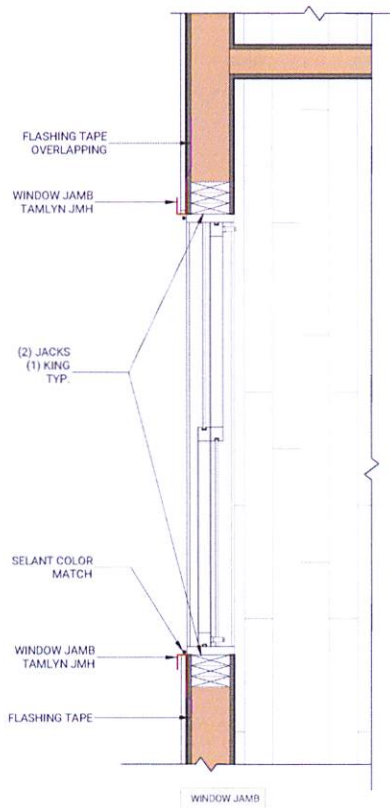
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44 Dinwiddie Ave.  
 Framingham, MA  
 01702 (781) 300-2972  
 www.milhawk.com

Project Information  
 Bullard Cir.  
 2 Bulard Cir.  
 Medway

Type of Project  
 Side Addition

Drawn by: Lisa Arrows

Reviewed by: Bruce K

Drawing Date: 5/22/25

Drawing Method:

Drawing Scale: 1 1/2" = 1'-0"

Project Number: 0307

Revisions:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Stamp:

REVIEWED BY



Title:

DETAILS

Sheet

A - 114



**CAPSTONE DESIGN PARTNERS**  
MODERN LIVING



---

Type of Construction:  
Garage 2 Bay

---

2 Bullard Cir  
MEDWAY MA 02053

*PROJECT LOCATION*  
*2 Bullard Cir, Medway, MA 02053*

**A1**

**GENERAL NOTES:**

1. ALL WORK SHALL CONFORM TO MASSACHUSETTS BUILDING CODE AND ALL FEDERAL, STATE AND LOCAL BUILDING, MECHANICAL, ELECTRICAL AND PLUMBING CODES AND REGULATIONS AS EACH MAY APPLY.
2. ALL EXISTING CONDITIONS MUST BE VERIFIED IN FIELD BY ARCHITECT'S SURVEYORS. THEY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. CORRECTIONS OR CHANGES TO THE WORK SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING AND WORK OF ALL TRADES AND SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS DESCRIBED HEREIN. THE CONTRACTOR SHALL BE HELD TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS CONTRACTOR SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO GENERAL WORKING HOURS.
4. ALL WORK SHALL BE PERFORMED BY A FIRST CLASS AND LICENSED MECHANICAL CONTRACTOR IN CONFORMANCE WITH THE MASSACHUSETTS BUILDING CODE AND ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING, MECHANICAL, ELECTRICAL AND PLUMBING CODES AND REGULATIONS AND SHALL BE IN GOOD USABLE CONDITION AT THE COMPLETION OF THE PROJECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING CONDITIONS, UTILITIES, CONDITIONS AND STRUCTURES PLACED IN PLACE AT THE START OF THE WORK. THE CONTRACTOR WILL EXERCISE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO SURROUNDING DAMAGE TO EXISTING STRUCTURES AND UTILITIES. WHERE NECESSARY, PROTECTIVE MEASURES SHALL BE PROVIDED TO PREVENT DAMAGE TO THE EXISTING STRUCTURES AND UTILITIES.
6. IN ORDER TO BEGIN THE WORK THE CONTRACTOR SHALL VISIT THE SITE AND THEREAFTER REVIEW THE ACTUAL CONDITIONS AND CONDITIONS OF THE WORK. NO CLAIM AGAINST THE OWNER OR ARCHITECT WILL BE ALLOWED FOR ANY EXCESSIVE DELAY OR INJURY TO THE WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.
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11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.
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13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.
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18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.

**ARCHITECT'S NOTES:**

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.
  2. OTHER BUILDING SYSTEMS SUCH AS: MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER.
  3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
- DECK NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION, SHORING, AND RELOCATION WORKS, IF ANY.
2. ALL WOOD TO BE PRESSURE TREATED, SYP NO.2 OR BETTER.
3. ALL CONNECTORS TO STAINLESS STEEL.
4. CONCRETE SHALL BE FC = 3000 PSI.
5. DECK BOARDS SHALL BE ATTACHED TO EACH JOIST WITH TWO NAILS OR DECK SCREWS.
6. CONNECTOR SHALL BE BY SIMPSON OR APPROVED EQUAL.

**GENERAL CONDITIONS:**

1. CONTRACTOR SHALL REVIEW ALL DEMOLITION PROCEDURES WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
2. CONTRACTOR SHALL PREPARE A DEMOLITION / CONSTRUCTION SCHEDULE TO BE SUBMITTED, REVIEWED AND COORDINATED WITH THE MANAGEMENT COMPANY A MINIMUM OF 1 WEEK PRIOR TO ANY PLANNED WORK.
3. NO WORK SHALL BE EXECUTED BEFORE 8 A.M. AND NO LATER THAN 6 P.M., WEEKENDS AND HOLIDAYS.
4. CONTRACTOR SHALL SAFEGUARD AND PROTECT THE EXISTING LANDSCAPE AND SHALL BE RESPONSIBLE FOR ANY REPAIRS OR CORRECTIVE DAMAGE.
5. THE CONTRACTOR SHALL COORDINATE WITH THE MANAGEMENT COMPANY FOR TEMPORARY TOILET FACILITIES, TEMPORARY ELECTRIC, PARKING FOR WORKERS, MATERIAL DELIVERIES AND STORAGE.
6. CONTRACTOR SHALL ON A DAILY BASIS MAINTAIN A SAFE AND ORDERLY PROJECT SITE, FREE OF ANY HAZARDS.

**FIRE NOTES:**

1. FIRE BLOCKING REQUIRED. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE.
- FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS.
- a1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS; AS FOLLOWS.
  - a2. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
  - b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
  - c. IN CONCEALED SPACES BETWEEN STAIR STRINGS AT THE TOP AND BOTTOM OF THE RUN.
  - d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL.

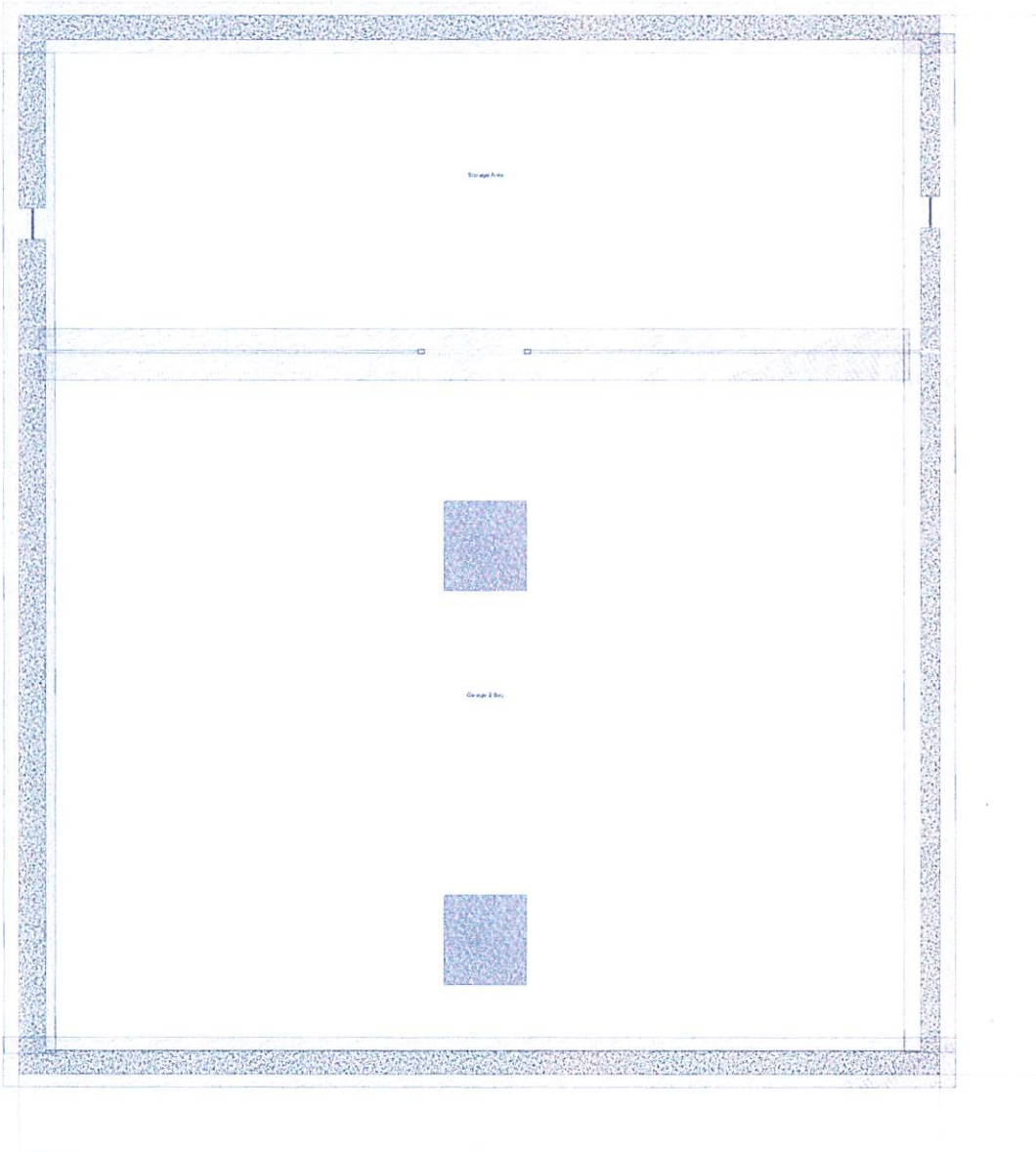


CAPSTONE DESIGN PARTNERS  
MODERN LIVING

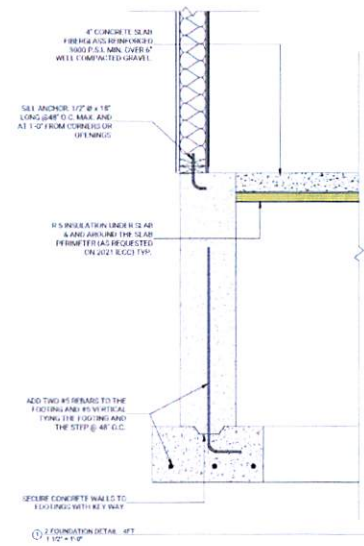
Type of Construction:  
Garage 2 Bay

2 Bullard Cir  
MEDWAY MA 02053

A2



1. THESE DRAWINGS WERE PREPARED FOR THE DASH PERMIT REQUIREMENTS.
  2. OTHER BUILDING SYSTEMS SUCH AS MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER.
  3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
  4. FIRE BLOCKING REQUIRED FOR BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN THE TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FULL GABLE LOGGINGS.
  - a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR SAGGED STUDS AS FOLLOWS:
    - a. AT ALL VERTICAL JOINTS OF THE CEILING AND FLOOR LEVELS.
    - b. AT ALL INTERSECTION POINTS OF VERTICAL AND HORIZONTAL SPACES SUCH AS CORNERS AT SOFFITS, DROP CEILING AND COVE CORNERS.
    - c. IN CONCEALED SPACES BETWEEN START STRINGS AT THE TOP AND BOTTOM OF THE RUN.
    - d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.
- IMPORTANT NOTICE:  
 THE CONTRACTOR Hired BY THE CLIENT DOES NOT HAVE THE AUTHORITY TO MODIFY STRUCTURAL DETAILS, INTERNAL LAYOUT OR ANY OTHER ASPECTS COVERED BY THE PROJECT.  
 IF THE CONTRACTOR IDENTIFIES ANY NECESSARY CHANGES, THEY MUST CONTACT MILLER/KING & ARCH TO REQUEST A MODIFICATION WHICH WILL BE CONSIDERED THROUGH AN RFQ REQUEST FOR INFORMATION. JUST IN CASE THE NEED FOR THE CHANGE, THE MODIFICATION WILL BE GRANTED AND UPDATED IN THE PROJECT THROUGH A BULLETIN.



**CAPSTONE DESIGN PARTNERS**  
 MODERN LIVING

Type of Construction:  
 Garage 2 Bay

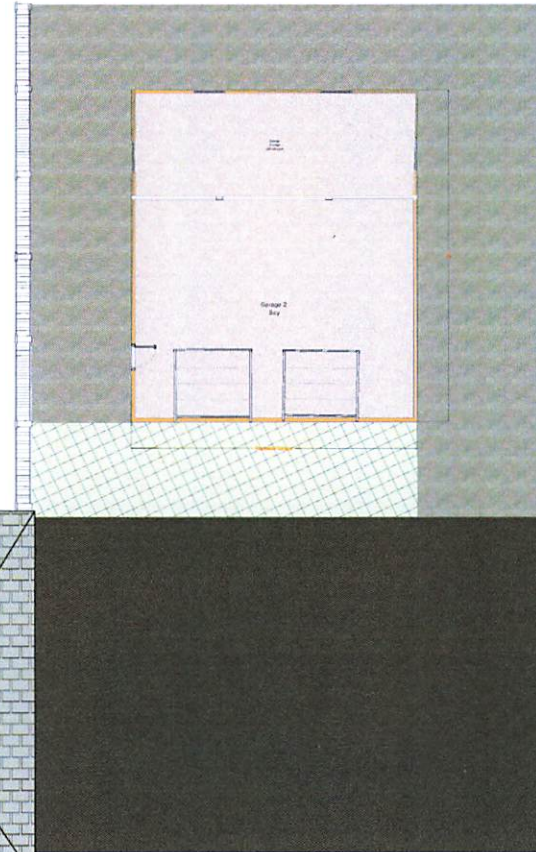
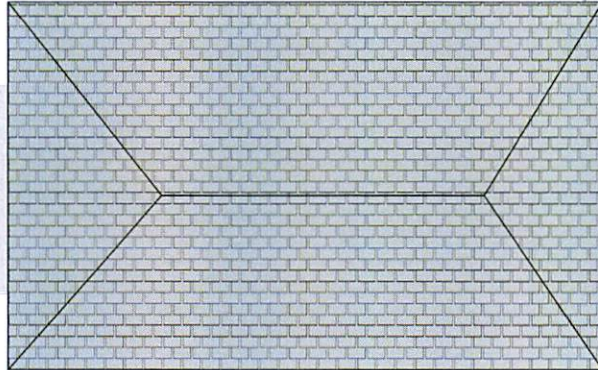
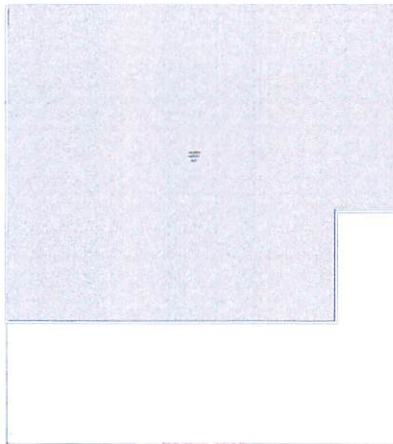
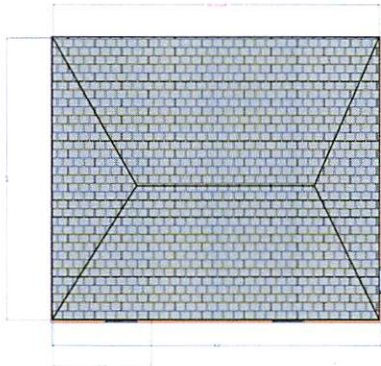
2 Bullard Cir  
 MEDWAY MA 02053

**A3**





**CAPSTONE DESIGN PARTNERS**  
MODERN LIVING



Type of Construction:  
Garage 2 Bay

2 Bullard Cir  
MEDWAY MA 02053

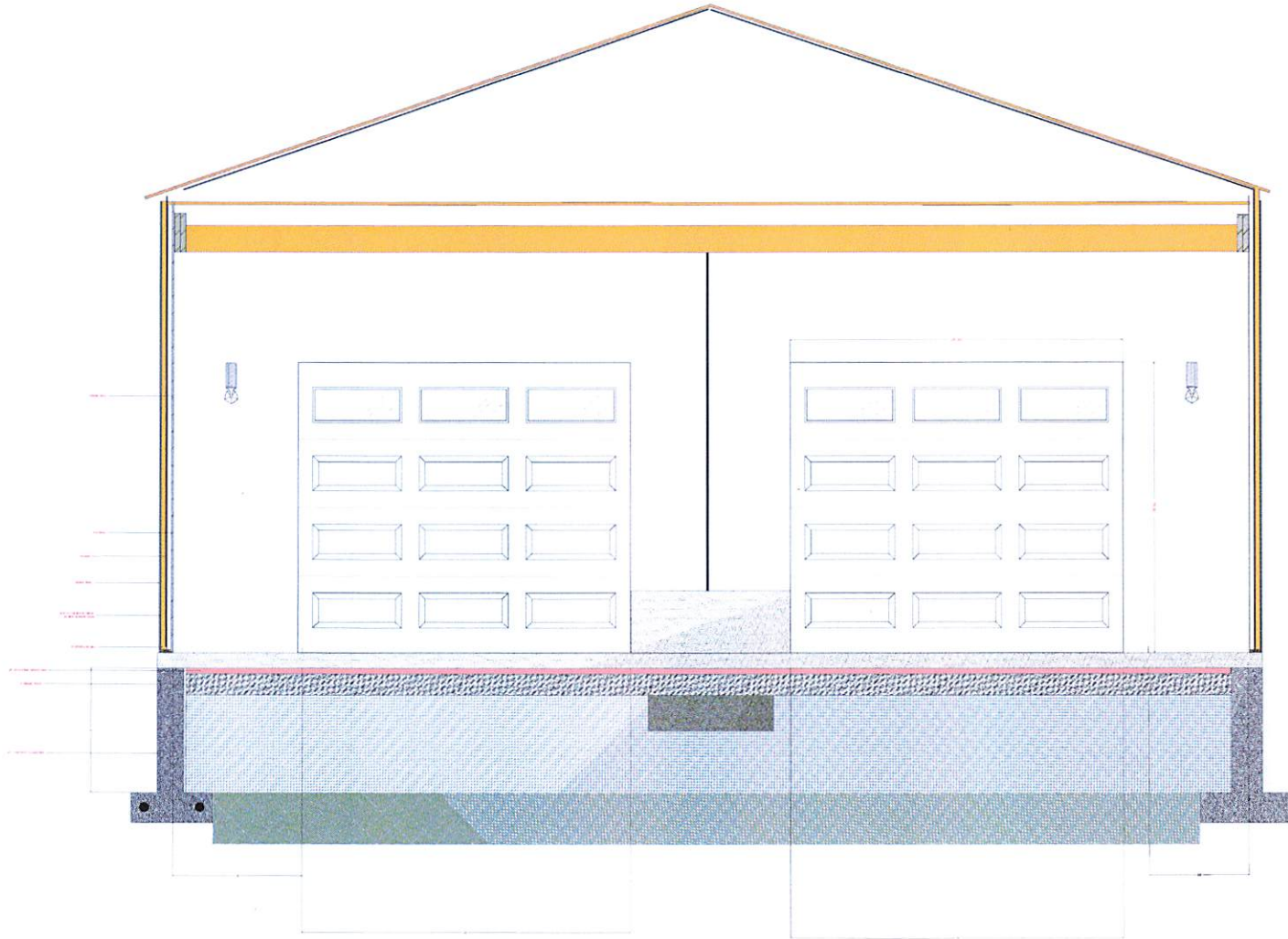
**A4**



**CAPSTONE DESIGN PARTNERS**  
MODERN LIVING

Type of Construction:  
Garage 2 Bay

2 Bullard Cir  
MEDWAY MA 02053



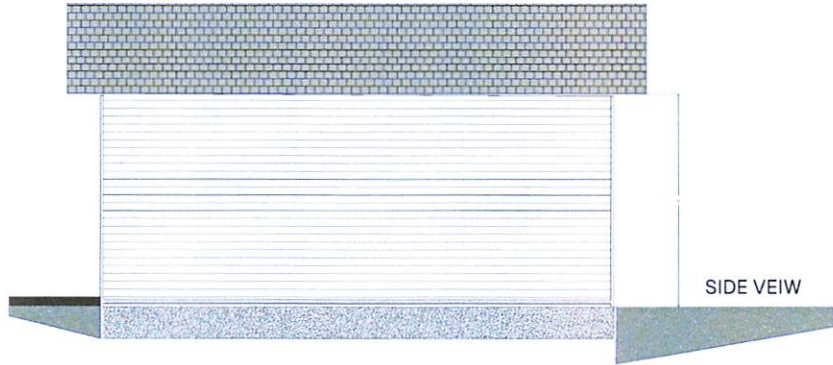
1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.  
2. OTHER FINISHING SYSTEMS SUCH AS MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER.  
3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.  
4. FIRE BLOCKING REQUIRED FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:  
a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FLURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:  
i. VERTICALLY AT THE CEILING AND FLOOR LEVELS.  
b. AT ALL INTERJUNCTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SIPS JOINTS, CORNER JOINTS AND CORNER JOINTS.  
c. IN CONCEALED SPACES BETWEEN STUD SPACES AT THE TOP AND BOTTOM OF THE RUN.  
d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.  
**IMPORTANT NOTICE:**  
THE CONTRACTOR HIRER BY THE CLIENT DOES NOT HAVE THE AUTHORITY TO MODIFY STRUCTURAL DETAILS, INTERNAL LAYOUT, OR ANY OTHER ASPECTS COVERED BY THE PERMIT.  
IF THE CONTRACTOR IDENTIFIES ANY NECESSARY CHANGES, THEY MUST CONTACT MEL HARRIS DESIGN AND ARCHITECTURE TO REQUEST A MODIFICATION, WHICH WILL ONLY BE CONSIDERED THROUGH AN INFORMAL REQUEST FOR INFORMATION. JUSTIFYING THE NEED FOR THE CHANGE. THE MODIFICATION WILL BE GRANTED AND UPDATED IN THE PROJECT THROUGH A BULLETIN.

PROJECT INFORMATION  
BUILDING CODES: IRC, IRC 2018 MASSACHUSETTS BUILDING CODE 9TH EDITION  
AMENDMENTS:  
LOCAL JURISDICTION CITY, STATE, FEDERAL & GENERAL BY LAW MEDWAY, MA 02053  
OCCUPANCY GROUP: U1B1B1B1B1  
TYPE OF CONSTRUCTION: GARAGE STRUCTURE

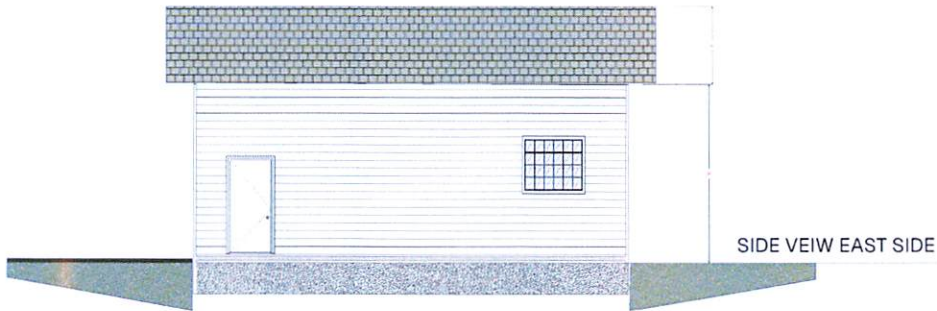
**A5**



CAPSTONE DESIGN PARTNERS  
MODERN LIVING



SIDE VIEW



SIDE VIEW EAST SIDE

Type of Construction:  
Garage 2 Bay

2 Bullard Cir  
MEDWAY MA 02053

ARCHITECT'S NOTES

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMITS PURPOSES.
2. CONTRACTOR SHALL VERIFY ALL MECHANICAL, ELECTRICAL, PLUMBING AND OTHER TRADES SHALL BE SELECTED BY THE OWNER.
3. ALL CONTRACTOR SELECTED SYSTEMS SHALL BE APPROVED BY MANUFACTURERS SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
4. FIRE BLOCKING REQUIRED FOR FLOORING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASES OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER IN FIRE RESISTIVE WALLS, TOP OF STUDY AND THE HOOD SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
  - a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING HORIZONTAL SPACES AND PARALLEL ROWS OF STUDS OR SWAGED STUDS, AS FOLLOWS:
    - i. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
    - ii. AT ALL JOINTS AND GAPS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS CROWN MOULDING, CORNICES AND FIRE CHIMNEYS.
    - iii. IN CONCEALED SPACES BETWEEN STAIRWAYS AT THE TOP AND BOTTOM OF THE RUN.
  - b. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.
5. CONTRACTOR TO VERIFY ALL DAMAGED PRIOR TO COMMENCING ANY NEW CONSTRUCTION.
6. CONTRACTOR SHALL NOTIFY ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES AND ALL APPLICABLE CONSTRUCTION REQUIREMENTS.

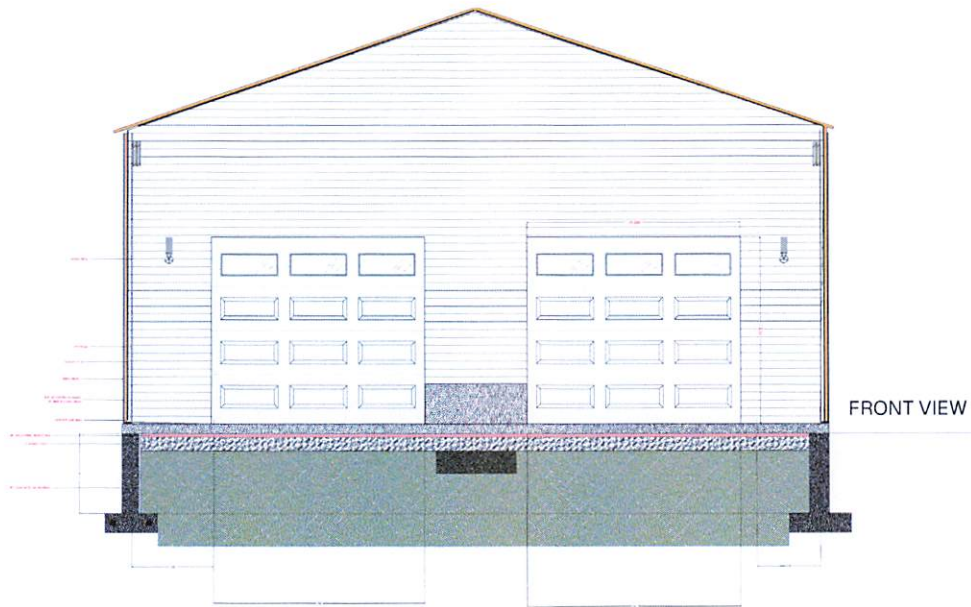
FIRE NOTES

- a. FIRE BLOCKING REQUIRED FOR BUILDINGS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASES OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER IN FIRE RESISTIVE WALLS, TOP OF STUDY AND THE HOOD SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
  - i. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING HORIZONTAL SPACES AND PARALLEL ROWS OF STUDS OR SWAGED STUDS, AS FOLLOWS:
    - i. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
    - ii. AT ALL JOINTS AND GAPS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS CROWN MOULDING, CORNICES AND FIRE CHIMNEYS.
    - iii. IN CONCEALED SPACES BETWEEN STAIRWAYS AT THE TOP AND BOTTOM OF THE RUN.
  - b. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

A6



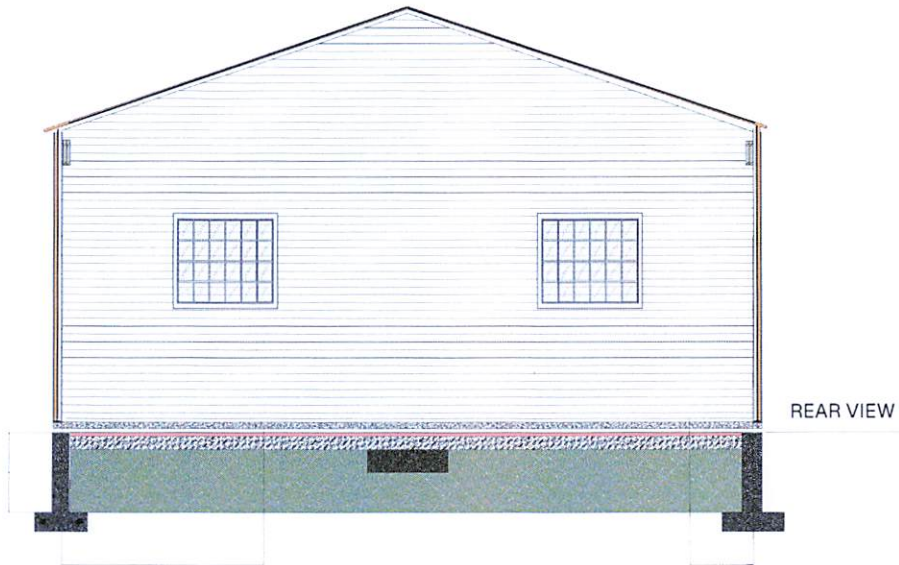
**CAPSTONE DESIGN PARTNERS**  
MODERN LIVING



FRONT VIEW

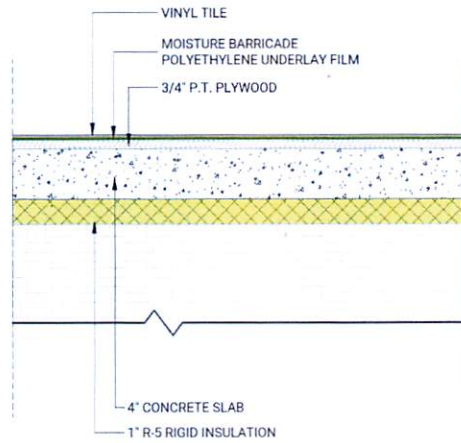
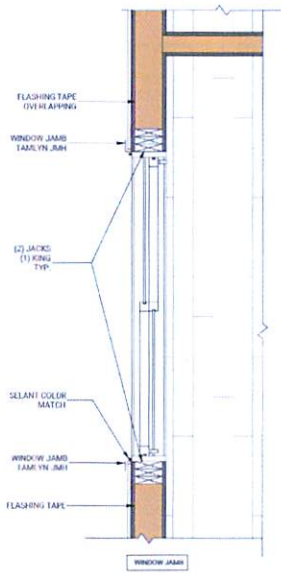
Type of Construction:  
Garage 2 Bay

2 Bullard Cir  
MEDWAY MA 02053

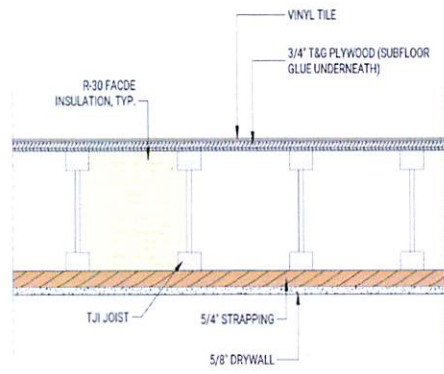


REAR VIEW

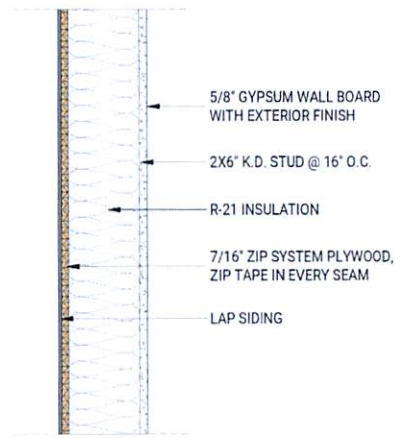
**A7**



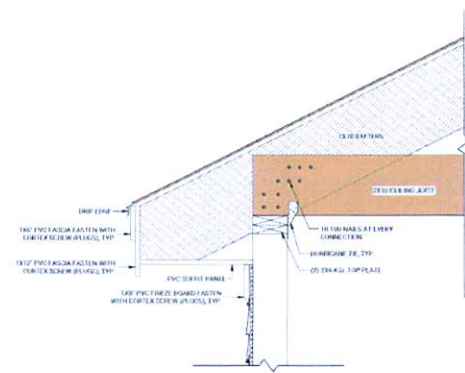
2A FLOOR ASSEMBLY - SLAB



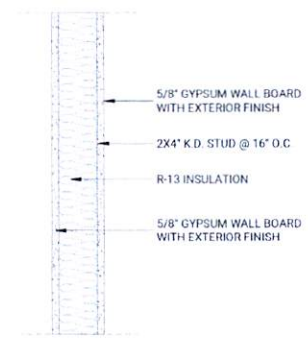
2B FLOOR/CEILING ASSEMBLY



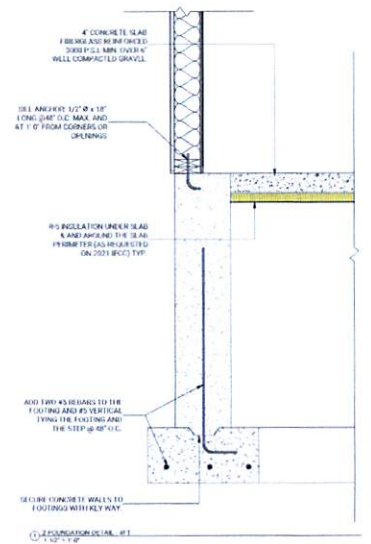
1A EXTERIOR 2X6 WALL



1 ROOF CONNECTION DETAIL 1'12" x 1'0"



1B 2X4 PARTITION WALL



1 FOUNDATION WALL TO FLOOR DETAIL 1'12" x 1'0"